

(SHOWN FOR CONCEPTUAL ARCHITECTURAL STYLE AND CHARACTER)



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**EVERGREEN TREE PLANTING:**  
(Installation Size: 6'-7')  
**EXAMPLE PLANTING:**  
Ilex opaca (American Holly)  
Pinus rigida (Pitch Pine)  
Juniperus virginiana (Eastern Red Cedar)  
Thuja plicata (Western Red Cedar)

**SHADE TREE PLANTING:**  
(Installation Size: 2.5' - 3' Cal.)  
**EXAMPLE PLANTING:**  
Acer rubrum (Red Maple)  
Nyssa sylvatica (Tupelo)  
Quercus alba (White Oak)  
Quercus palustris (Pin Oak)

**FLOWERING/ORNAMENTAL TREE PLANTING:**  
(Installation Size: 8' - 10')  
**EXAMPLE PLANTING:**  
Amelanchier 'Autumn Brilliance' (Autumn Brilliance Shadblow)  
Betula populifolia (Weeping White Birch)  
Magnolia virginiana (Sweetbay Magnolia)  
Prunus serotina 'Kwanzan' (Kwanzan Cherry)

**SUPPLEMENTAL NATIVE  
MIXED SHRUB BORDER:**  
(Installation Size: #3 [3 gal.]  
**EXAMPLE PLANTING:**  
Cetrea alifolia (Summersweet)  
Cornus sericea (Redtwig Dogwood)  
Hydrangea arborescens (Smooth Hydrangea)  
Hydrangea paniculata (Panicled Hydrangea)  
Ilex glabra (Inhberry)  
Ilex verticillata (Winterberry)  
Myrica pensylvanica (Bayberry)  
Viburnum dentatum (Arrowwood)

**COASTAL MEADOW GRASSES**  
(Ri State Native Mix, or approved Equial)  
30% Hard Fescue  
25% Perennial Rye  
25% Little Bluestem  
20% Switchgrass

**STONEDUST PUBLIC ACCESS PATH**  
(See Detail)

**8' MIN WIDTH MOWED PUBLIC ACCESS PATH**  
(Approved Ri State Native Mix, or Approved Equial)

**PERVIOUS PAVEMENT PUBLIC ACCESS  
PROMENADE SURFACING**  
(See Detail)

	PROPERTY LINE
	ABUTTER PROPERTY LINE
	ACCESS EASEMENT LINE
	FENCE LINE
	TOPOGRAPHIC CONTOUR
	SEWER MAIN (18")
	SEWER MAIN (DIA. UNIDENTIFIED)
	GAS MAIN (8")
	GAS MAIN (8")
	GAS MAIN (12")
	GAS MAIN (DIA. UNIDENTIFIED)
	WATER MAIN (10")
	DRAIN LINE (DIA. UNIDENTIFIED)
	OVERHEAD WIRES
	SEWER FORCE MAIN
	50' SETBACK FROM COASTAL FEATURE / WETLAND
	COASTAL FEATURE FLAG
	FRESHWATER WETLAND FLAG
	IRON ROD
	SURVEY NAIL
	CONCRETE BOUND
	FIRE HYDRANT
	DRAIN MANHOLE
	CATCH BASIN INLET
	SEWER MANHOLE
	PROPOSED 25' CONSTRUCTION SETBACK
	PROPOSED DRAIN LINE
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED STREET/PARKING LOT LIGHT POLES (SEE LIGHTING PLAN(S))
	PROPOSED BOLLARD LIGHT (SEE LIGHTING PLAN(S))

[illegible]

1. Plan Entitled: "East Point: MAP 203 BLOCK 1 LOT 4 ROGER WILLIAMS AVENUE EAST PROVIDENCE, RHODE ISLAND: PROPOSED CONDITIONS (COASTAL SIDE); Sheet C-10; Client/Owner: Noble Development, LLC; As Prepared by: Northeast Engineers and Consultants, Inc.; Dated: 17APR21, as amended; Scale: 1"=50'
2. Plan Entitled: "East Point: MAP 203 BLOCK 1 LOT 4 ROGER WILLIAMS AVENUE EAST PROVIDENCE, RHODE ISLAND: PROPOSED CONDITIONS (POND SIDE); Sheet 11; Client/Owner: Noble Development, LLC; As Prepared by: Northeast Engineers and Consultants, Inc.; Dated: 17APR21, as amended; Scale: 1"=50'
3. Plan Entitled, "Eastpoint Site", Prepared by: Reflex Lighting; Dated: 4/15/21; Scale: NTS

Map 203, Block 1, Lot 4 &  
Map 303, Block 13, Lots 4 & 5  
Roger Williams Avenue  
East Providence, RI

Owner/Prepared For:  
Nobel Development, LLC  
10 Green Street  
Providence, RI 02903



**Kevin M. Alverson**  
LANDSCAPE ARCHITECTURE  
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Wickford, RI 02852 KevinMAlversonLA.com



LANDSCAPE PLANTING ONLY

Landscape  
Master Plan  
(Coastal Side)

Project #: 2.291.316

Sheet 1 of 5

Scale: 1" = 50'

Checked By: KMA

Date: April 22, 2021

**L-1**

ISSUED FOR PERMITTING



**EVERGREEN TREES PLANTING**  
**EXAMPLE PLANTINGS:**  
*Picea strobus* (White Pine)  
*Picea glauca* (American Holly)  
*Picea glauca* (White Spruce)  
*Juniperus virginiana* (Eastern Red Cedar)  
*Thuja plicata* (Western Red Cedar)

**SHADE TREE PLANTING**  
**EXAMPLE PLANTINGS:**  
*Acer rubrum* (Red Maple)  
*Betula nigra* "Dura-Heat" (Dura-Heat River Birch)  
*Fraxus grandifolia* (American Beech)  
*Liquidambar styraciflua* (Tulip Tree)  
*Nyssa sylvatica* (Tupelo)  
*Quercus alba* (White Oak)  
*Quercus palustris* (Pin Oak)

**FLOWERING/ORNAMENTAL TREE PLANTING**  
**EXAMPLE PLANTINGS:**  
*Betula populifolia* "Whitespire" (Whitespire Birch)  
*Chionanthus virginicus* (Eastern Fringe Tree)  
*Chionoxanthus canadensis* (Eastern Redbud)  
*Magnolia virginiana* (Sweetgum Magnolia)  
*Prunus serotina* (Black Cherry)

**SUPPLEMENTAL NATIVE MIXED SHRUB BORDER**  
**EXAMPLE PLANTINGS:**  
*Ceanothus americanus* (American Blueberry)  
*Cornus sericea* (Flowering Dogwood)  
*Vaccinium corymbosum* (Highbush Blueberry)  
*Hydrangea arborescens* (Smooth Hydrangea)  
*Hydrangea paniculata* (Panicled Hydrangea)  
*Ilex glabra* (Holly)  
*Ilex verticillata* (Winterberry)  
*Viburnum dentatum* (Arrowwood)  
*Viburnum plicatum* "Tomelato" (Doublefile Viburnum)  
*Viburnum trilobum* (American Cranberry Bush)

**COASTAL MEADOW GRASSES**  
 (Rt State Native Mix, or Approved Equival)  
 30% Hard Fescue  
 25% Perennial Ryegrass  
 25% Little Bluestem  
 20% Switchgrass

**STONEDESK PUBLIC ACCESS PATH**  
 (See Detail)

**8' (MIN) WIDE MOWED PUBLIC ACCESS PATH**  
 (Rt State Native Mix, or Approved Equival)

**PERVIOUS PAVEMENT SURFACING**  
**CRACKED PAVEMENT SURFACING**  
**STONEDESK PUBLIC ACCESS PATH**  
 (See Detail)



		PROPERTY LINE
		ABUTTER PROPERTY LINE
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[illegible]

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3. Plan Entitled: "EastPoint Site", Prepared by: Reflex Lighting: Dated 4/15/21; Scale: NTS

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Map 303, Block 13, Lots 4 & 5  
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East Providence, RI

Owner/Prepared For:  
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10 Green Street  
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## Project #: 2.291.316

Scale: 1" = 50'

Drawn By: KMA

Checked By: KMA

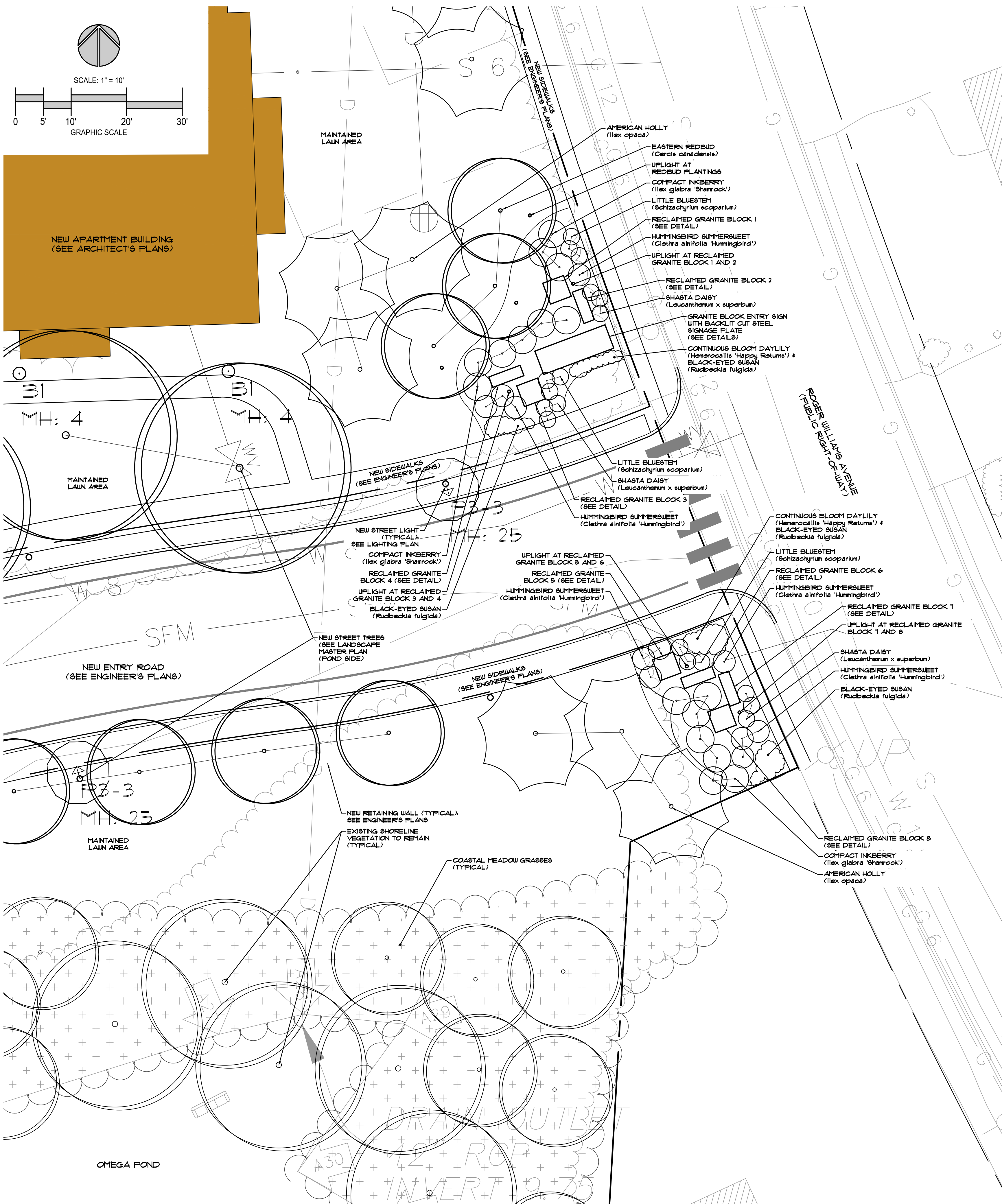
Date: April 22, 2024

Sheet 2 of 5

# L-2

ISSUED FOR PERMITTING





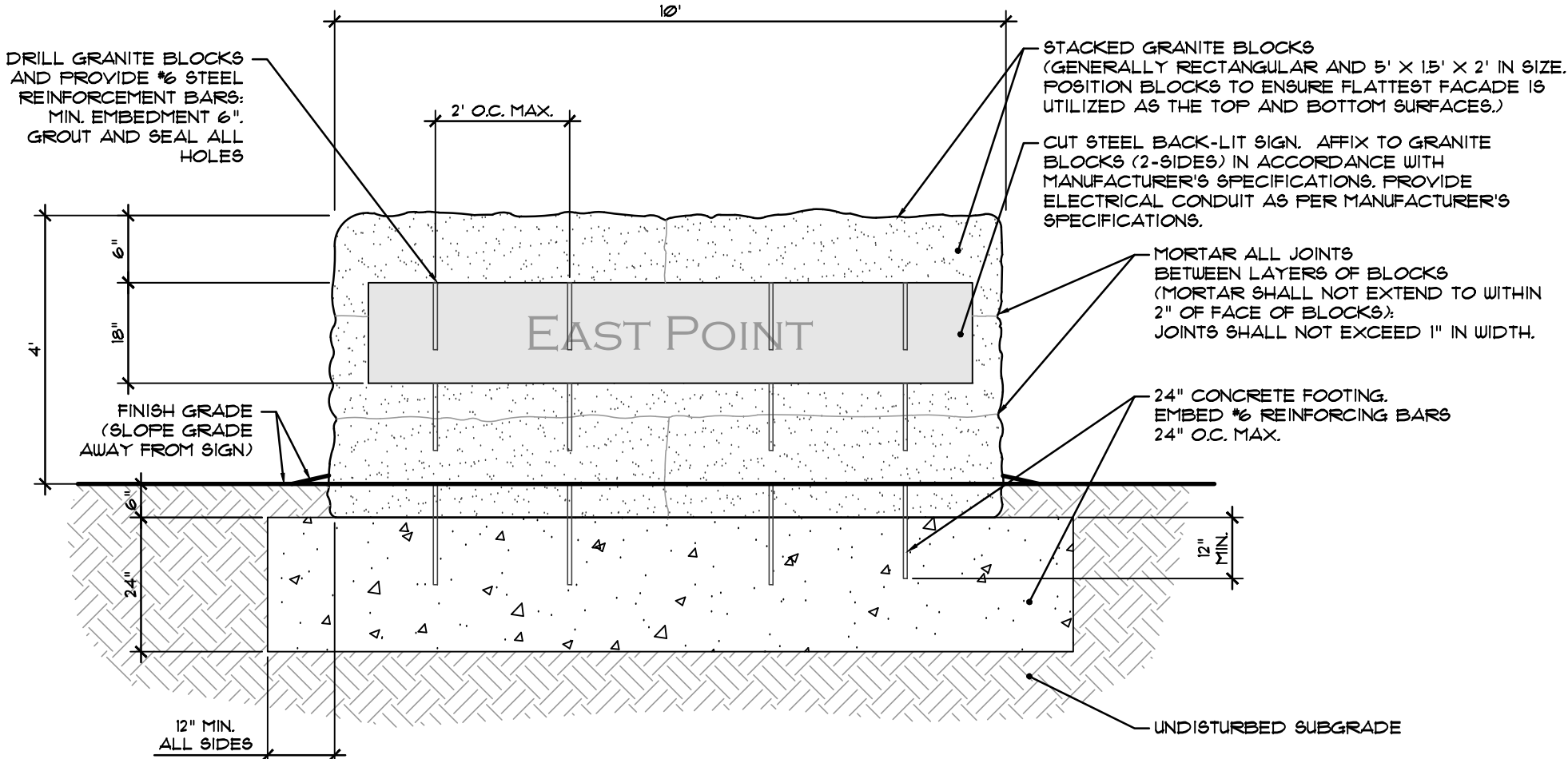
BACKLIT CUT STEEL SIGNAGE EXAMPLE IMAGE  
(NATURAL PATINA RAW STEEL, CUT AND SET 6" FROM GRANITE BLOCK BASE)

(SHOWN FOR CONCEPTUAL ARCHITECTURAL STYLE AND CHARACTER)



RECLAIMED GRANITE BLOCKS AT ENTRY SIGNAGE

(SHOWN FOR CONCEPTUAL ARCHITECTURAL STYLE AND CHARACTER)



- NOTE:
1. GRANITE BLOCKS TO BE SIMILAR TO RECLAIMED SEAWALL GRANITE AS AVAILABLE THROUGH DIVERSIFIED MATERIALS IN NORTH KINGSTON RI, OR EQUAL. BLOCKS TO BE REVIEWED WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FINAL ORIENTATION AND LOCATION OF BOULDER TO BE AS DIRECTED ON-SITE BY OWNER'S REPRESENTATIVE.
  2. STAGGER ALL JOINTS BETWEEN COURSES OF BLOCKS.
  3. SIGNAGE LOGO, FONT, ETC. ARE TO BE DETERMINED. OWNER SHALL WORK WITH GRAPHIC DESIGNER TO ESTABLISH DEVELOPMENT BRANDING AND LOGO INFORMATION. PROOFS FOR CUT STEEL BACKLIT SIGNAGE TO BE PROVIDED TO OWNER FOR REVIEW AND APPROVAL BEFORE MANUFACTURE.
  4. SIGN MANUFACTURER TO SUPPLY SIGN MOUNTING HARDWARE AND LIGHTING. ALL SIGN COMPONENTS TO BE INSTALLED IN ACCORDANCE WITH SIGN MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO PROVIDE ELECTRICAL CONDUIT TO SIGN LIGHTING AS PER SIGN MANUFACTURER.
  5. PROVIDE LOCKABLE WEATHER- AND TAMPER-RESISTANT OUTDOOR OUTLET AT GRANITE SIGN FOR SUPPLEMENTAL AND/OR SEASONAL LIGHTING AND POWER FOR TOOLS/APPLIANCES FOR PROPER MAINTENANCE.

1 ROGER WILLIAMS AVENUE  
ENTRY SIGN DESIGN

NOT TO SCALE

REVISION HISTORY:

DATE	REVISION
6/21/21	Site Layout, Grading, and Lighting Locations and Adjusted Plantings

REFERENCES:

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East Point

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Owner/Prepared For:  
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LANDSCAPE PLANTING ONLY

Landscape Design:  
Roger Williams Ave.  
Project Entrance

Project #: 2.291.316

Sheet 3 of 5

Scale: 1" = 10'

Drawn By: KMA

Checked By: KMA

Date: April 22, 2021

L-3

ISSUED FOR PERMITTING

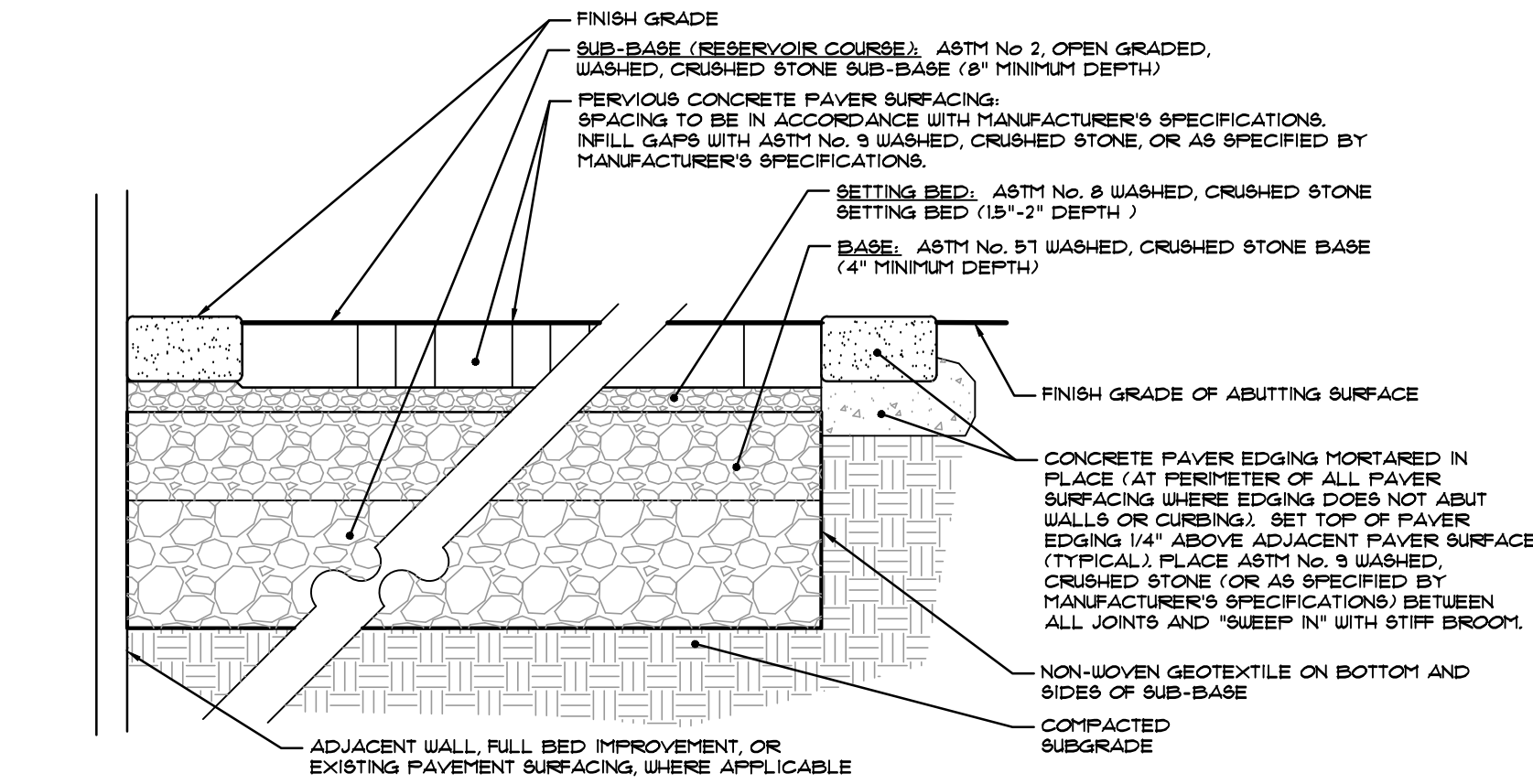


GENERAL NOTES:

- SEE ENGINEER'S PLANS FOR ALL SITE LAYOUT, GRADING, DRAINAGE, AND UTILITY DESIGNS (SEE REFERENCES).
- ALL WORK AND MATERIALS SHALL BE IN CONFORMANCE WITH THE RHODE ISLAND STANDARD SPECIFICATIONS, AS AMENDED.
- THIS PLAN IS FOR PERMITTING PURPOSES AND IS INTENDED TO BE AN ACCURATE GUIDELINE FOR LAYOUT AND SPECIFICATION OF LANDSCAPE PLANTINGS ONLY. CONTRACTOR SHALL VERIFY ACTUAL AS-BUILT ON-SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION PROCEDURES. FINAL ALIGNMENT OF ALL LANDSCAPE IMPROVEMENTS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID CONFLICTS WITH OTHER PROPOSED SITE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO, UTILITY AND DRAINAGE DESIGN AND FINAL DESIGN/LAYOUT OF ROADWAYS, SIDEWALKS, AND PROPOSED STRUCTURES.
- UTILITIES ARE PLOTTED FROM BEST AVAILABLE INFORMATION AND SITE OBSERVATIONS. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY CONTACTING DIG SAFE (888-DIG-SAFE (344-7233) or Dial 811), IN ACCORDANCE WITH THE LAWS OF THE STATE OF RI. CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION. DAMAGE TO ANY ABOVE OR BELOW-GROUND UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER OWN EXPENSE.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR REUSE. DO NOT REMOVE LOAM FROM SITE UNLESS DIRECTED BY OWNER'S REPRESENTATIVE. IF DIRECTED BY OWNER'S REPRESENTATIVE, IT SHALL BE REMOVED OFFSITE TO AN APPROPRIATE FACILITY FOR FUTURE USE AS DIRECTED BY OWNER.
- ALL EXCESS SOILS, BOULDERS, STUMPS AND OTHER MATERIALS SHALL BE DISCARDED OFFSITE IN AN ACCEPTABLE MANNER TO ALL STATE, AND MUNICIPAL REGULATIONS. ALL MATERIALS THAT ARE REMOVED AND DISPOSED SHALL BE DONE SO IN A DULC MANNER AND FOLLOW THE SOIL EROSION CONTROL PLAN AT OWNER'S DIRECTION.
- CONTRACTOR TO PERFORM DAILY HOUSEKEEPING ONSITE. CONTRACTOR SHALL SWEEP DAILY ANY TRACKING ONTO EXISTING PARKING AREA TO PREVENT FROM ENTERING THE DRAINAGE SYSTEM.
- ALL ITEMS NOT INDICATED FOR REMOVAL AND DISPOSAL SHALL BE PROTECTED BY CONTRACTOR DURING CONSTRUCTION. SHOULD DAMAGE OCCUR AS A RESULT OF CONSTRUCTION PROCEDURES, CONTRACTOR SHALL REPAIR SUCH DAMAGE AT HIS OR HER OWN EXPENSE IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE AND THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.
- URBAN COASTAL GREENWAY PUBLIC ACCESS SURFACING:
  - PERVIOUS PAVEMENT PROMENADE OVERLOOK SURFACING: PROMENADE SURFACING SHALL BE CONSTRUCTED OF ADA COMPLIANT, PRECAST CONCRETE PERMEABLE PAVERS SIMILAR TO UNIKOR-PRIMA, 5' X 10 SIZE, COLOR: 'GRANITE', OR APPROVED EQUAL. SET PAVERS IN PERMEABLE APPLICATION - RUNNING BOND PATTERN (INSTALLED IN ACCORDANCE WITH PAVEMENT MANUFACTURER'S SPECIFICATIONS). SET PAVERS ON COMPACTED BASE OF 8" MIN. DEPTH ASTM No. 2 OPEN GRADED WASHED, CRUSHED STONE RESERVOIR COURSE, 4" MIN. DEPTH ASTM No. 57 WASHED, CRUSHED STONE BASE, AND 1.5"-2" DEPTH ASTM No. 8 WASHED, CRUSHED STONE SETTING BED. INFILL OPENINGS WITH ASTM No. 9 AGGREGATE WASHED, CRUSHED STONE (OR AS PER MANUFACTURER'S SPECIFICATIONS).
  - ALL EDGING PAVERS SHALL BE MORTARED IN PLACE. PROVIDE 2' X 2' MOCK-UP OF PAVEMENT PATTERN FOR APPROVAL BY OWNER'S REPRESENTATIVE.
  - STONEDUST PUBLIC ACCESS PATHS: TO BE COMPRISED OF 6" MIN. DEPTH COMPACTED PROCESSED GRAVEL BASE MATERIAL FINISHED WITH 2" OF COMPACTED STONE DUST.
- CONCRETE PEDESTRIAN SURFACE AND PADS AT SITE FURNISHINGS: CONCRETE SURFACING SHALL BE COMPRISED OF 4" DEPTH CEMENT CONCRETE PEDESTRIAN SURFACING IN ACCORDANCE WITH RIDOT STD. SPECIFICATIONS. CONCRETE SURFACING SHALL BE INSTALLED OVER A 8" MIN. DEPTH COMPACTED PROCESSED GRAVEL BASE. SEE DETAIL.
- SCULPTURES: FINAL DESIGN OF SCULPTURES TO BE DETERMINED. ALL SCULPTURES TO BE SET ON 12" MIN. THICKNESS REINFORCED CONCRETE PAD SURFACING (CONCRETE SURFACE TO BE IN ACCORDANCE WITH RIDOT STANDARDS, BROOM FINISH). FINAL SIZE AND LAYOUT OF CONCRETE PAD TO BE AS NEEDED FOR SELECTED SCULPTURES.
- PLANTINGS: SEE LANDSCAPE PLAN FOR DETAILS. FINAL PLANTINGS MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, AS AMENDED. SEE LANDSCAPE NOTES FOR SPECIFICATIONS ON ALL PROPOSED PLANTINGS.
- SIGNAGE:
  - ENTRY SIGNAGE: SEE DETAILS FOR ARCHITECTURAL CONCEPT. FINAL LOGO, FONT, FINISH, ETC., ARE TO BE DETERMINED.
  - URBAN COASTAL GREENWAY SIGNAGE: PROVIDE CLEAR AND UNDERSTANDABLE SIGNS IN ACCORDANCE WITH THE REQUIREMENTS OF THE RI COASTAL RESOURCES MANAGEMENT COUNCIL (RRCMC) URBAN COASTAL GREENWAY DESIGN MANUAL FOR THE METRO BAY REGION. THIS SIGNAGE SHOULD BE POSTED IN PUBLIC ACCESS AREAS.

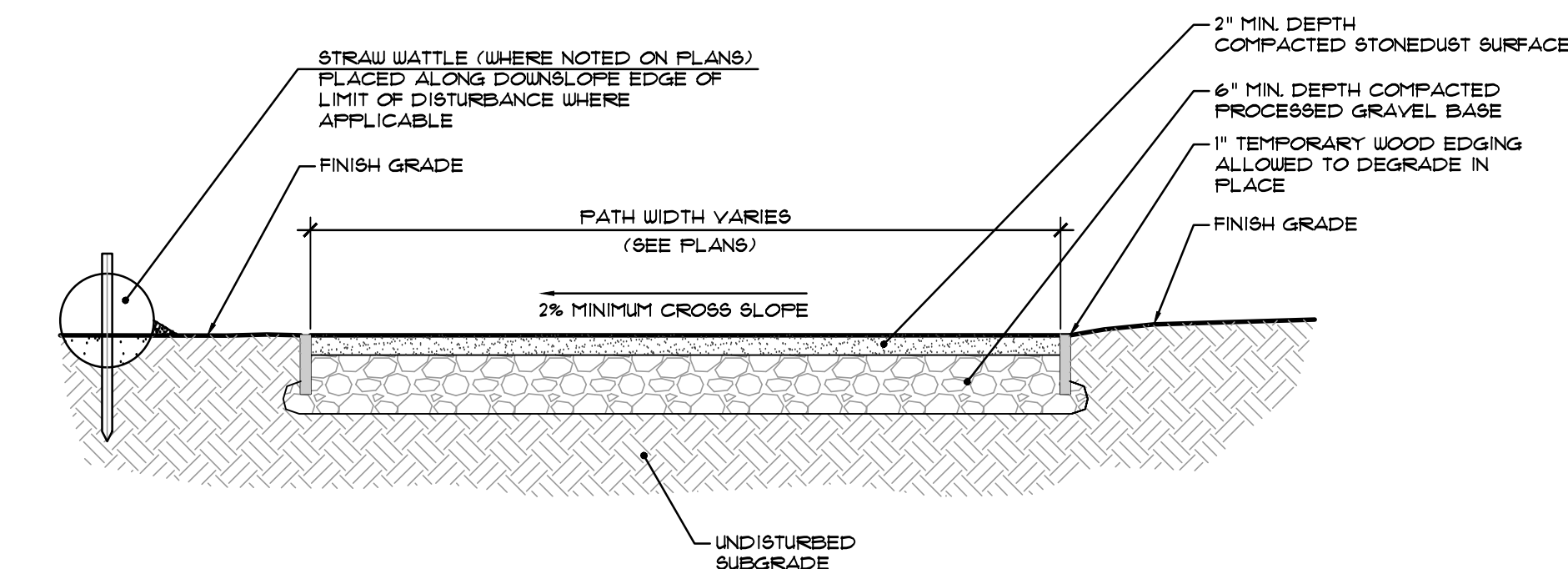
LANDSCAPE NOTES:

- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CURRENT PLANTING PROCEDURES ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN) STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY.
- ALL PLANTINGS SHALL BE SIZED IN ACCORDANCE WITH THE SIZES INDICATED ON THE PLANT SCHEDULE, UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
- SPECIFIED PLANT VARIETIES, QUANTITIES, AND SIZES ARE SUBJECT TO AVAILABILITY AT TIME OF ORDERING AND INSTALLATION. ALL PLANT SUBSTITUTIONS AND/OR CHANGES IN PLANT LOCATION OR SIZE MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFF-SITE LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
- EXISTING VEGETATION PROTECTION LINE: PROTECTIVE BARRIERS ARE TO BE INSTALLED ALONG THE LIMIT OF DISTURBANCE ABUTTING EXISTING VEGETATION TO REMAIN. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF-SUPPORTING. THEY SHALL BE A MINIMUM OF THREE-FOUR FEET (3'-4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR ICE FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED. PRUNING OF ANY DAMAGED ROOTS SHALL BE DONE IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, UTILIZING ONLY CLEAN SHARP TOOLS - NO AXES TO BE USED FOR PRUNING. CARE SHALL BE TAKEN NOT TO DISPOSE OF PAINT OR ANY OTHER SOLVENTS THAT MAY CHANGE THE SOIL STRUCTURE IN OR AROUND THE ROOTZONE OF VEGETATION SETTING BED.
- ANY ACCIDENTALLY DAMAGED ROOTS SHALL BE PRUNED BY A LICENSED ARBORIST
- ANY ACCIDENTAL DISTRIBUTION OF NON-VEGETATIVE DEBRIS, LIQUID, OR REFUSE WITHIN OR AROUND THE ROOT PROTECTION ZONE OF VEGETATION TO REMAIN SHALL BE IMMEDIATELY CLEANED AND REMOVED FROM SITE LEGALLY AND IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS TO PREVENT CHANGES TO THE SOIL STRUCTURE OR NATURAL ENVIRONMENT OF PROTECTED VEGETATION.
- MAINTENANCE AND WARRANTY:
  - ALL PLANTINGS SHALL BE MAINTAINED BY THE OWNER OR CONTRACTOR FROM THE TIME OF PLANTING UNTIL THE PLANTINGS ARE ESTABLISHED. MAINTENANCE DURING THIS PERIOD SHALL INCLUDE WATERING OF PLANTINGS AS NECESSARY TO ENSURE PROPER ESTABLISHMENT OF PLANTINGS.
  - CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON ALL NEW PLANTINGS. SHOULD NEW PLANT MATERIAL DIE (OR DECLINE TO THE POINT WHERE PLANT IS EXPECTED TO DIE) WITHIN THIS WARRANTY PERIOD (OTHER THAN DUE TO NATURAL FACTORS, NATURAL DROUGHT, OR NEGLIGENCE), CONTRACTOR SHALL REMOVE THE PLANT AND REPLACE SAID PLANT MATERIAL WITH NEW PLANTINGS IN ACCORDANCE WITH THE SIZE AND VARIETY SPECIFIED. ALL REPLACEMENT PLANT MATERIAL SHALL CARRY A NEW ONE (1) YEAR WARRANTY STARTING FROM THE DATE OF REPLACEMENT. CONTRACTOR SHALL REMOVE ALL STAKES, GUY Wires, AND TAPE FROM TREES AT THE END OF THE SPECIFIED WARRANTY PERIOD.
- FINAL LOCATIONS OF ALL NEW PLANTINGS SHALL BE ADJUSTED AS NECESSARY BASED ON FINAL AS-BUILT LOCATIONS OF ALL NEW AND EXISTING UTILITIES AND OTHER SITE IMPROVEMENTS.
- ON-SITE TOPSOIL: NO REMOVAL OF TOPSOIL OR UNNECESSARY GRADING/DISTURBANCE OF THE SITE SHALL OCCUR DURING CONSTRUCTION UNLESS NECESSARY FOR SUCCESSFUL IMPLEMENTATION OF IMPROVEMENTS. TOPSOIL THAT MUST BE MOVED DURING CONSTRUCTION PROCEDURES AND/OR GRADING NECESSARY FOR CONSTRUCTION, SHALL BE REMOVED AND STOCKPILED ON-SITE FOR RE-USE. DO NOT MIX TOPSOIL WITH SUBSOIL. PROTECT ALL STOCKPILES FROM EROSION AND SEDIMENTATION WITH APPROPRIATE SOIL EROSION AND SEDIMENTATION CONTROLS IN CONFORMANCE WITH THE ENGINEER'S PLANS (SEE REFERENCES).
- PLANTABLE SOIL: ALL LOAM USED AS PLANTABLE SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LIMBS OF SOIL, TREE LIMBS, TRASH, CONSTRUCTION DEBRIS, OR OTHER OBJECTIONABLE MATERIAL. NEW PLANTING BEDS SHALL BE AMENDED WITH WELL-AGED COMPOST. LOAM SHALL BE AMENDED WITH COMPOST AS NECESSARY TO PRODUCE A PLANTABLE SOIL CONTAINING A MINIMUM OF 10% ORGANIC MATTER. ON-SITE NATIVE LOAM MAY BE UTILIZED FOR PLANTABLE SOIL, BUT SHALL BE AMENDED, SCREENED, AND/OR RAKED AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF ANY OFF-SITE LOAM.
- COMPOST SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE. IT SHALL BE DERIVED FROM AGRICULTURAL, FOOD, AND/OR YARD TRIMMINGS. THE PRODUCT SHALL CONTAIN NO SUBSTANCES TOXIC TO PLANTS AND SHALL BE REASONABLY FREE (LESS THAN 1 PERCENT BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER.
- WATERING: THOROUGHLY WATER ALL PLANTS WHEN 2/3 OF BACKFILL HAS BEEN PLACED TO ENSURE ALL AIR POCKETS ARE REMOVED. FIRMLY TAMP SOIL AROUND PLANT. ENSURE PROPER WATERING OF PLANT MATERIAL UNTIL ESTABLISHMENT (ONCE PER DAY FOR 14 DAYS FOLLOWING INSTALLATION, OR AS NEEDED DEPENDING ON FREQUENCY AND QUANTITY OF NATURAL RAIN FALL). MONITOR SOIL MOISTURE WITHIN ROOTZONE OF PLANTINGS PRIOR TO AND FOLLOWING EACH WATERING PROCEDURE. DO NOT OVERWATER OR SATURATE ROOTZONE OF PLANTINGS FOR PROLONGED PERIOD OF TIME.
- PRUNING: ALL PLANTING MATERIAL SHALL BE PRUNED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND IN SUCH A MANNER AS TO MAINTAIN THE NATURAL FORM OF THE PLANT. PRUNING SHALL BE COMPLETED UTILIZING ONLY CLEAN SHARP TOOLS. USE OF AXES FOR PRUNING IS UNACCEPTABLE.
  - PRUNE ALL PLANT MATERIAL TO REMOVE ANY AND ALL DEADWOOD AND CROSSING BRANCHES.
- MULCH: ALL PLANTINGS SHALL BE MULCHED AS INDICATED ON DETAIL DRAWINGS. PLANTINGS INSTALLED IN CLUSTERS, OR WITHIN PLANTING BEDS SHALL BE MULCHED AS SUCH, INSTALLING MULCH THROUGHOUT THE ENTIRE PLANTING BED. MULCH TO BE 3"-4", OR AS OTHERWISE NOTED, IN DEPTH AND REDUCED TO LESS THAN 1" AT ROOT FLARE OF EACH PLANT.
- BARK MULCH, WHERE INDICATED, SHALL BE WELL-AGED, SHREDDED BARK MULCH, NATURAL DARK BROWN IN COLOR AND NON-DYED, OR AS APPROVED BY OWNER'S REPRESENTATIVE.
- LOAM AND SEED:
  - LOAM AND SEED ALL DISTURBED AREAS. ALL NEW LAWN AREAS SUBJECT TO EROSION SHALL BE STABILIZED UTILIZING JUTE MESH OR APPROVED EQUAL.
  - LOAM UTILIZED OR RETAINED FOR LAWN AREAS SHALL BE SANDY LOAM, CONTAINING A MINIMUM OF 5% ORGANIC MATTER, 6" IN DEPTH, AND CONFORMING TO THE REQUIREMENTS OF THE USDA FOR LAWN PLANTINGS. ON-SITE NATIVE LOAM MAY BE UTILIZED FOR LAWN AREAS, BUT SHALL BE AMENDED, SCREENED, AND/OR RAKED AS NECESSARY TO CONFORM TO THE REQUIREMENTS OF ANY OFF-SITE LOAM.
  - IF INSTALLING SEED UTILIZING HYDROSEEDER DEVICE, PROVIDE FIBER MULCH AND FERTILIZER MIX.
  - IF BROADCAST SEEDING, TOPDRESS WITH 2" STRAW MULCH, FOLLOWING SPREADING OF SEED.
- SEED MIXES:
  - SEED MIX UTILIZED FOR LAWN AREAS SHALL BE SIMILAR TO 'Endophyte Enhanced Mix' AS AVAILABLE THROUGH ALLEN'S SEED, EXETER, RI, OR EQUAL, DROUGHT TOLERANT, DEEP-ROOTING GRASS SEED, CONTAINING A MINIMUM OF 30% BY WEIGHT OF TURF-TYPE TALL FESCUE.
  - SEED MIX UTILIZED FOR COASTAL MEADOW GRASSES AREAS SHALL BE SIMILAR TO RI STATE NATIVE MIX, AS AVAILABLE THROUGH ALLEN'S SEED, EXETER, RI, OR APPROVED EQUAL COMPRISED OF THE FOLLOWING:
    - 30% Hard Fescue
    - 25% Perennial Rye
    - 25% Little Bluestem
    - 20% Switchgrass

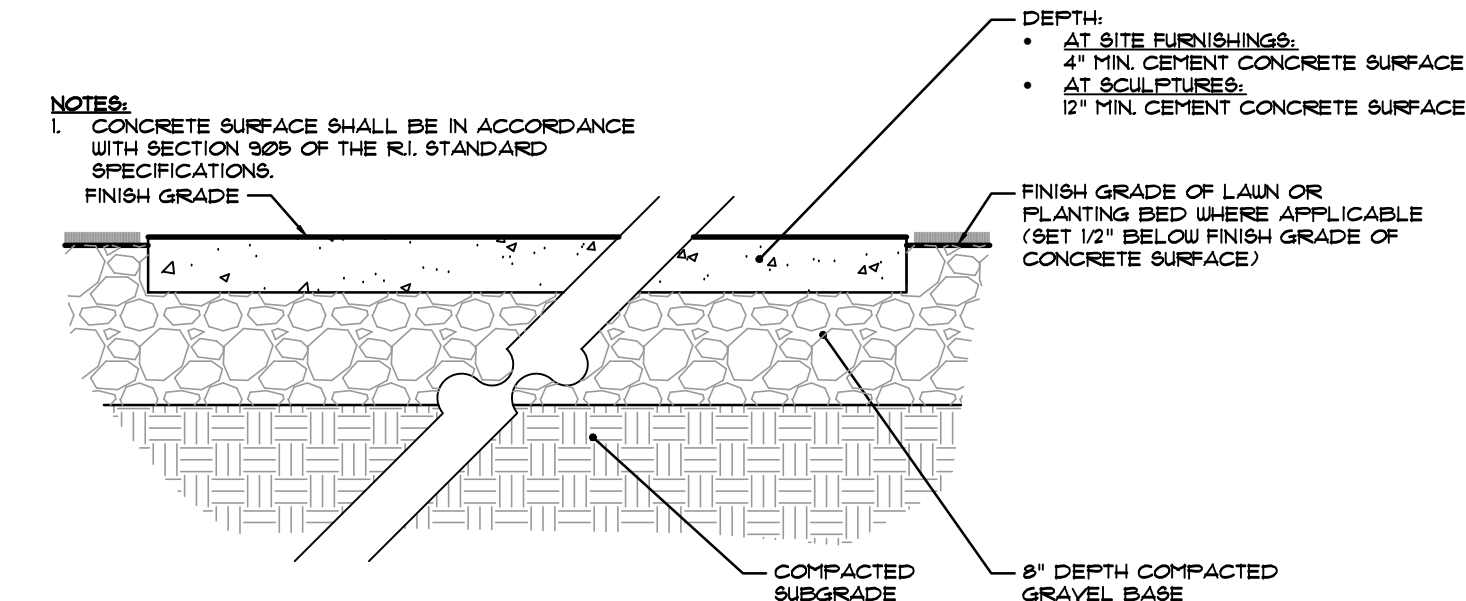


- NOTES:
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE WATER QUALITY TREATMENT REQUIREMENTS OF STANDARD 3, OF THE RI Stormwater Design and Installation Standards Manual, Prepared by RIDEM and RIRMC.
  - CONSTRUCTION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR PERMEABLE INTERLOCKING CONCRETE PAVERS.

1 PERVIOUS CONCRETE PAVER SURFACE NOT TO SCALE

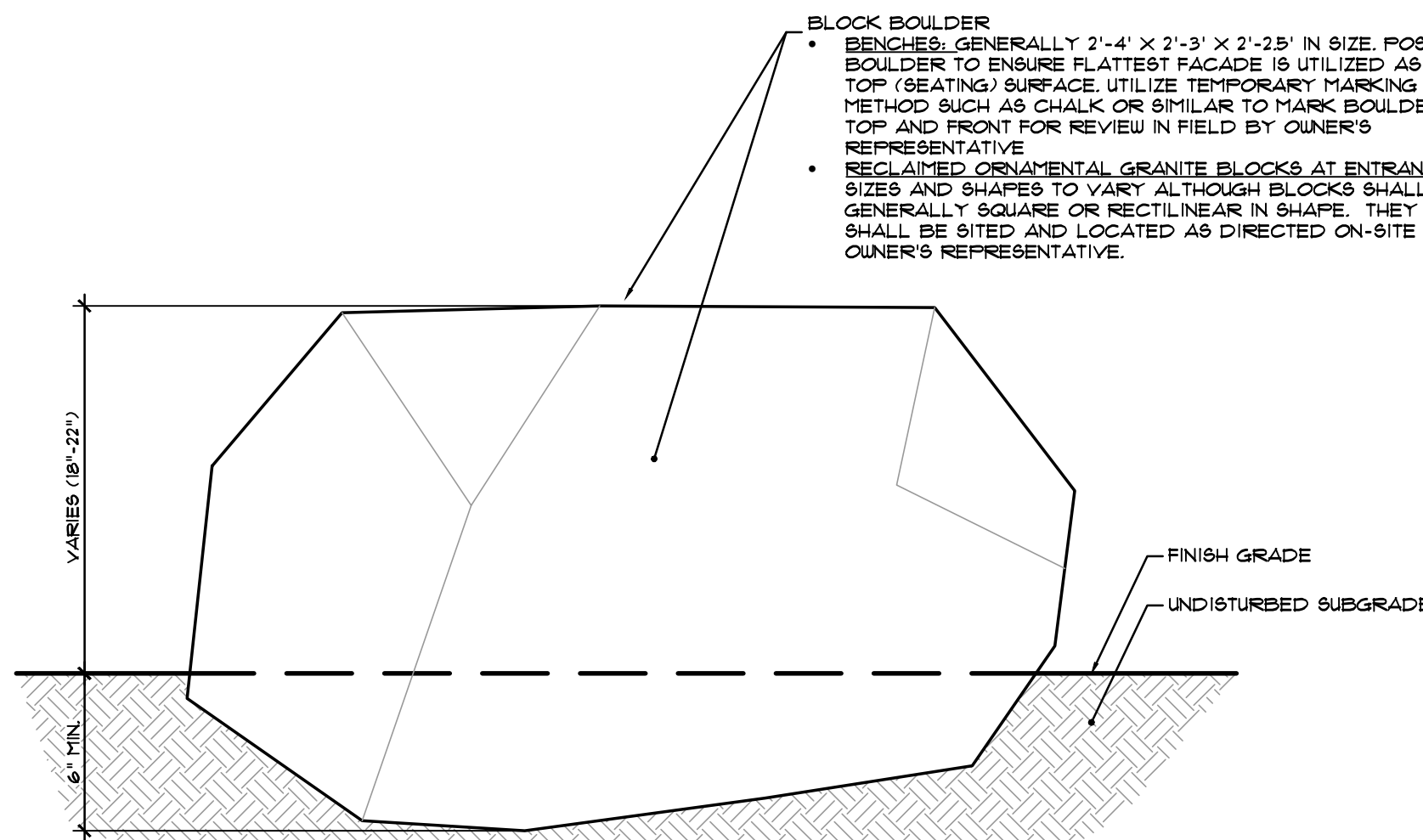


2 STONEDUST PUBLIC ACCESS PATH NOT TO SCALE



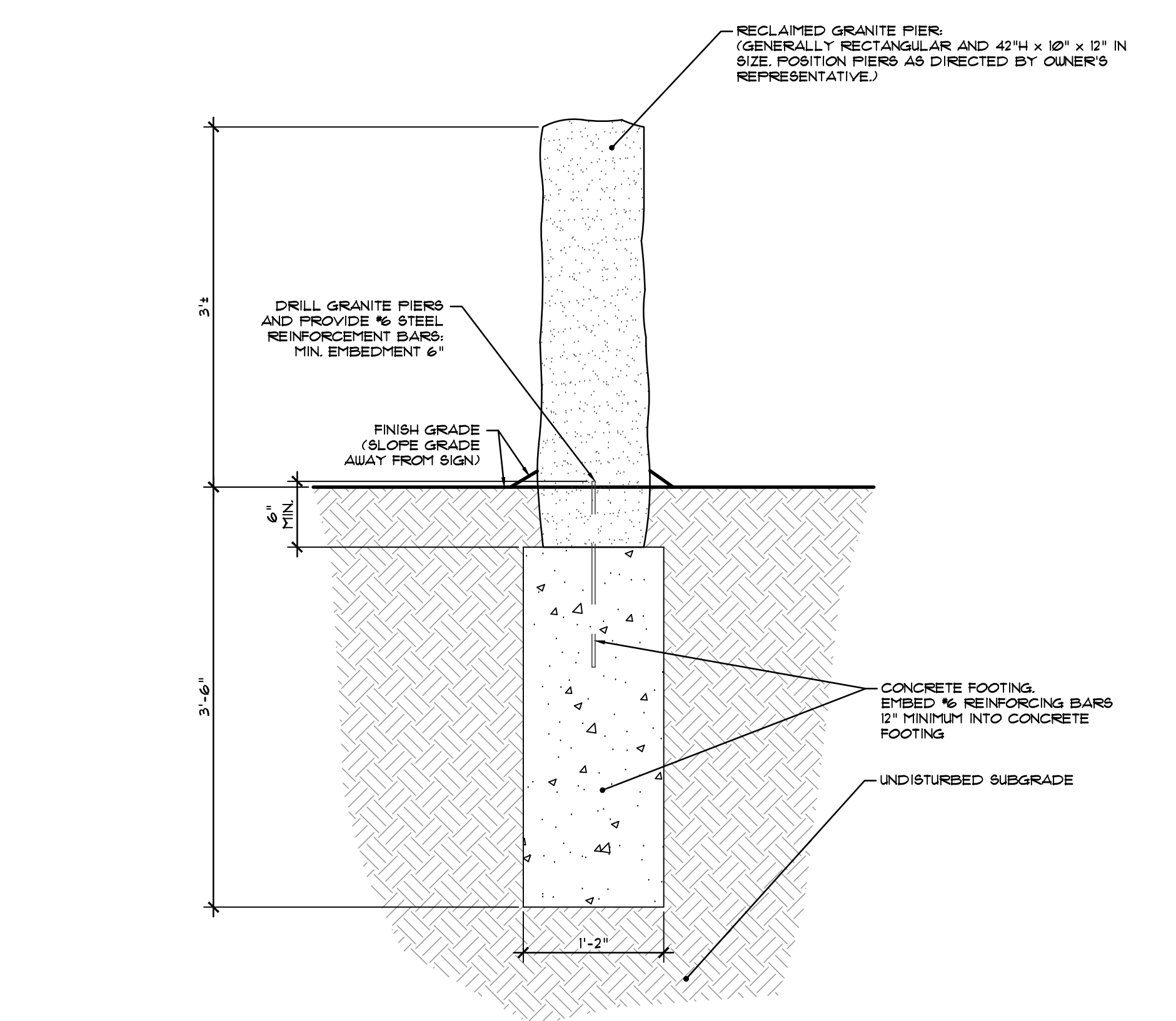
- CONCRETE SURFACE JOINTS:
- EXPANSION JOINTS AND CONSTRUCTION JOINTS SHALL BE FORMED AROUND ALL APPURTENANCES SUCH AS MANHOLES, UTILITY POLES, ETC., EXTENDING INTO AND THROUGH THE SIDEWALK. PREMOULDED EXPANSION JOINT FILLER 1/4-INCH THICK SHALL BE INSTALLED IN THESE JOINTS. EXPANSION JOINTS SHALL BE PLACED EVERY 20 FEET.
  - CONCRETE SURFACES SHALL BE DIVIDED INTO SECTIONS BY DUPPLY JOINTS FORMED BY A JOINTING TOOL OR OTHER ACCEPTABLE MEANS AS DIRECTED. THESE DUPPLY JOINTS SHALL EXTEND INTO THE CONCRETE FOR AT LEAST 1/3 OF THE DEPTH AND SHALL BE APPROXIMATELY 1/8-INCH WIDE AT NO TIME SHALL THE DISTANCE BETWEEN TRANSVERSE AND/OR LONGITUDINAL DUPPLY JOINTS EXCEED 9 FEET.
  - THE FORGING OF PREMOULDED EXPANSION JOINT FILLER INTO FRESHLY PLACED CONCRETE WILL NOT BE ALLOWED.
  - EXPANSION JOINT FILLER SHALL BE INSTALLED BETWEEN CONCRETE SURFACE AND ANY FIXED, SMOOTH STRUCTURE. THIS EXPANSION JOINT MATERIAL SHALL EXTEND FOR THE FULL DEPTH OF THE SURFACE. IF THE SURFACE ADJUTS AN IRREGULAR WALL, FOUNDATION OR STATIONARY OBJECT, THE EXPANSION JOINT FILLER SHALL BE PLACED 4 INCHES FROM THE IRREGULAR SURFACE AND CONCRETE PLACED BETWEEN THE IRREGULAR SURFACE AND THE EXPANSION JOINT MATERIAL. THE MAXIMUM DISTANCE BETWEEN TRANSVERSE AND/OR LONGITUDINAL EXPANSION JOINTS SHALL NOT EXCEED 20'.

3 CONCRETE PAD SURFACE AT SITE FURNISHINGS AND SCULPTURES NOT TO SCALE



- NOTE:
- BLOCK BOULDERS TO BE REVIEWED WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FINAL ORIENTATION AND LOCATION OF BOULDER TO BE AS DIRECTED ON-SITE BY OWNER'S REPRESENTATIVE.

4 RECLAIMED GRANITE BLOCK AND BLOCK BENCH PLACEMENT DETAIL NOT TO SCALE



5 GRANITE PIERS AT PUBLIC ACCESS POINTS NOT TO SCALE

REVISION HISTORY:

DATE	REVISION
6/21/21	Site Layout, Grading, and Lighting Locations and Adjusted Plantings

REFERENCES:

- Plan Entitled: "East Point": MAP 203 BLOCK 1 LOT 4 ROGER WILLIAMS AVENUE EAST PROVIDENCE, RHODE ISLAND: PROPOSED CONDITIONS (COASTAL SIDE); Sheet C-10; Client/Owner: Noble Development, LLC; As Prepared by: Northeast Engineers and Consultants, Inc.; Dated: 17APR21, as amended; Scale: 1"=50'
- Plan Entitled: "East Point": MAP 203 BLOCK 1 LOT 4 ROGER WILLIAMS AVENUE EAST PROVIDENCE, RHODE ISLAND: PROPOSED CONDITIONS (POND SIDE); Sheet 11; Client/Owner: Noble Development, LLC; As Prepared by: Northeast Engineers and Consultants, Inc.; Dated: 17APR21, as amended; Scale: 1"=50'
- Plan Entitled, "Eastpoint Site", Prepared by: Reflex Lighting; Dated 4/15/21; Scale: NTS

East Point

Map 203, Block 1, Lot 4 &  
Map 303, Block 13, Lots 4 & 5  
Roger Williams Avenue  
East Providence, RI

Owner/Prepared For:  
Nobel Development, LLC  
10 Green Street  
Providence, RI 02903



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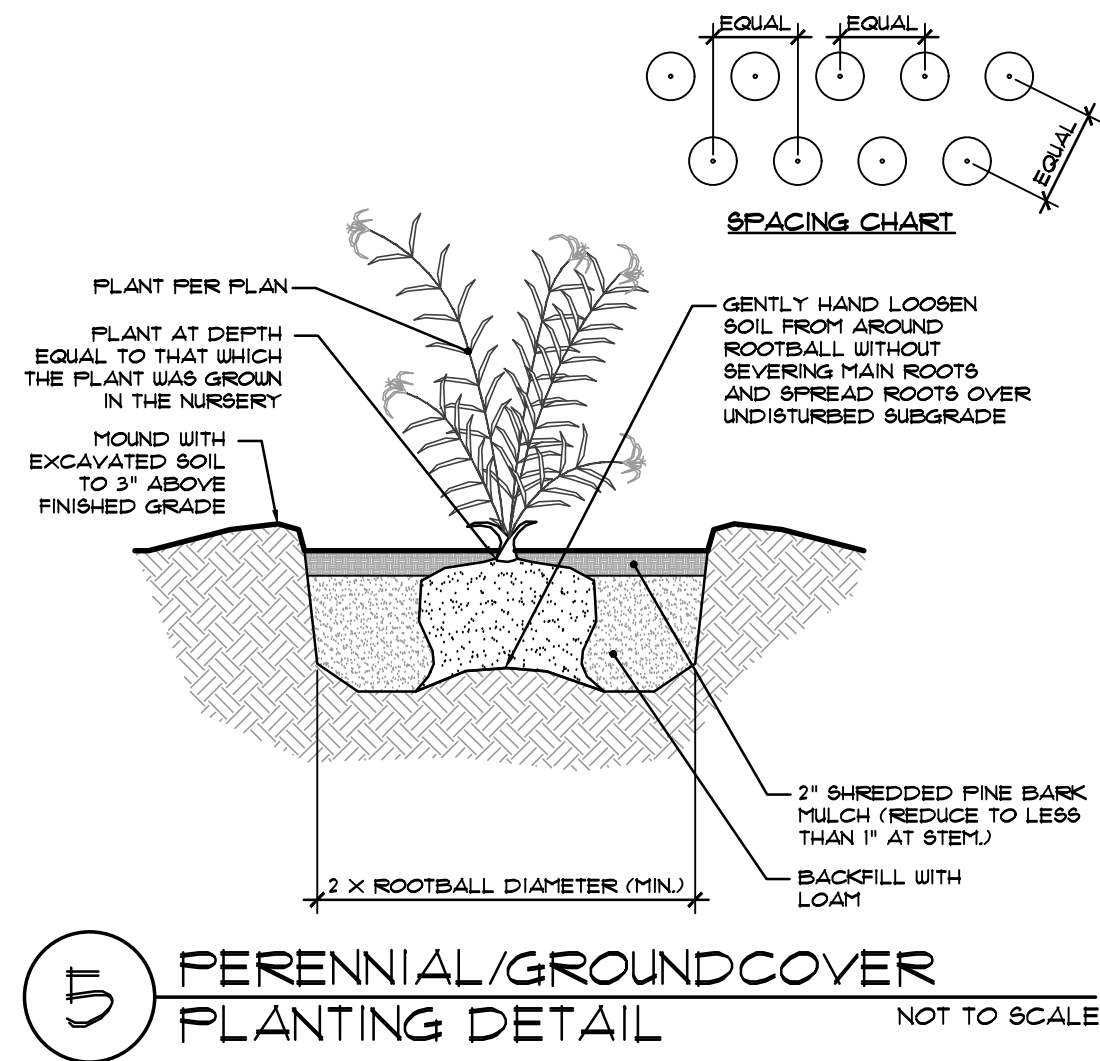
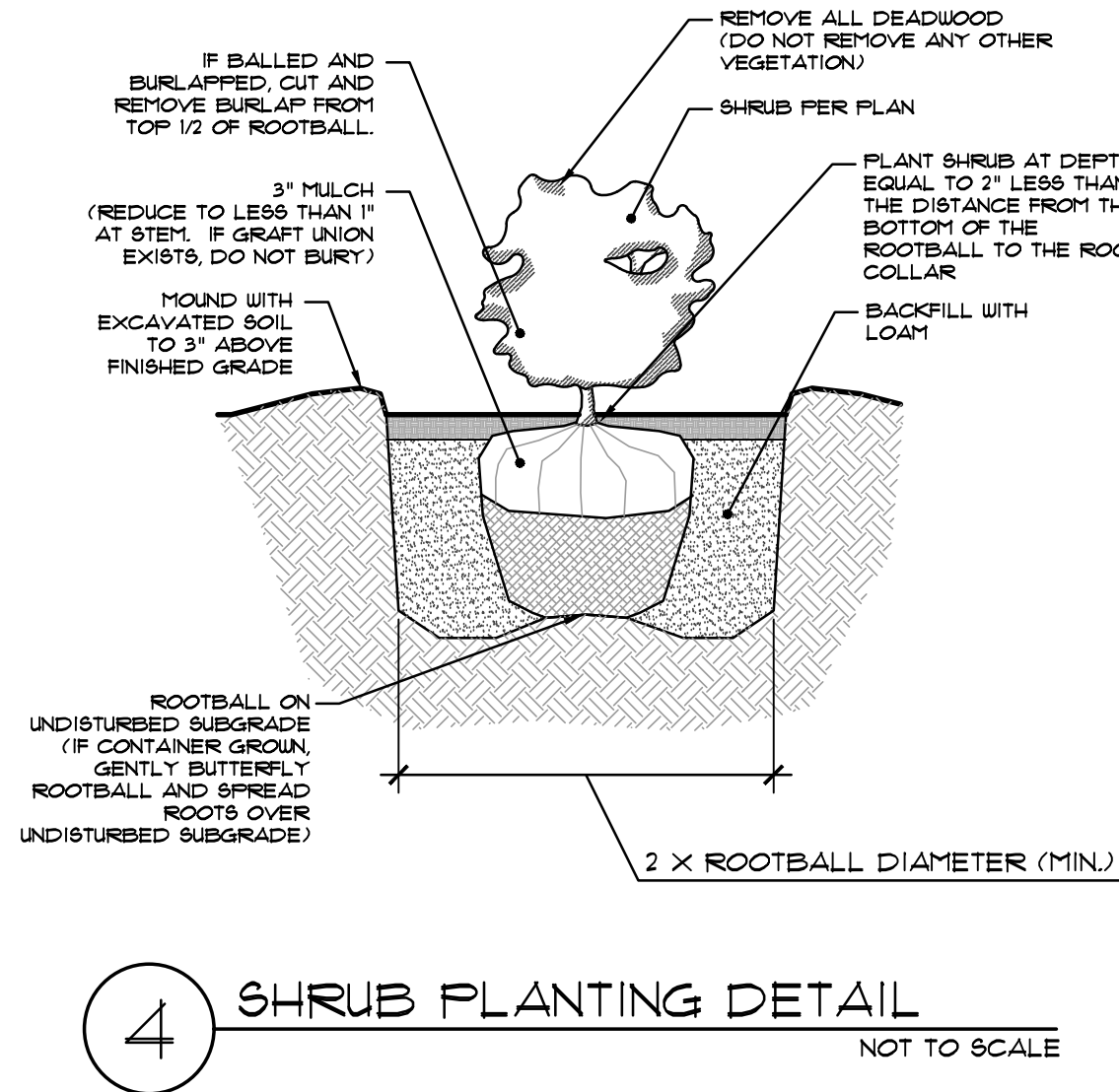
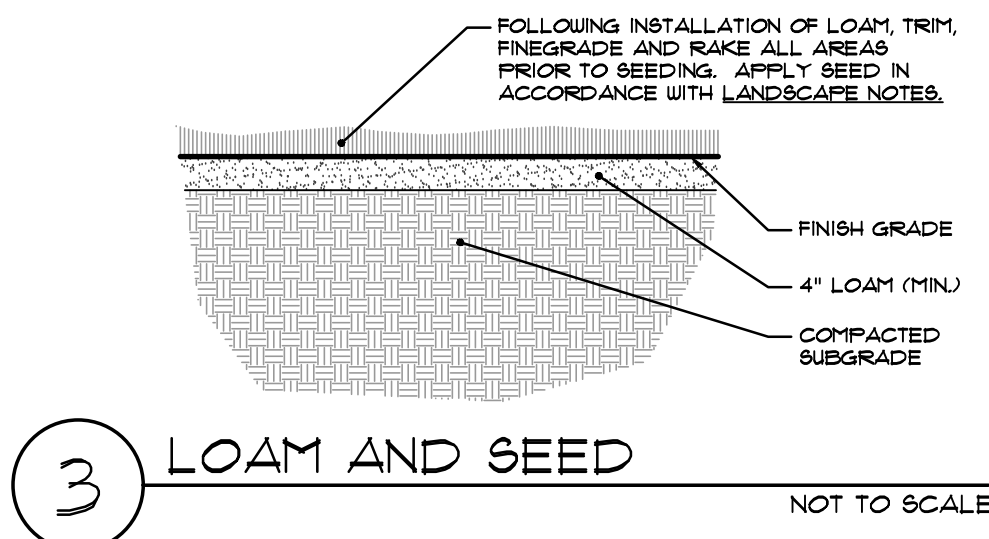
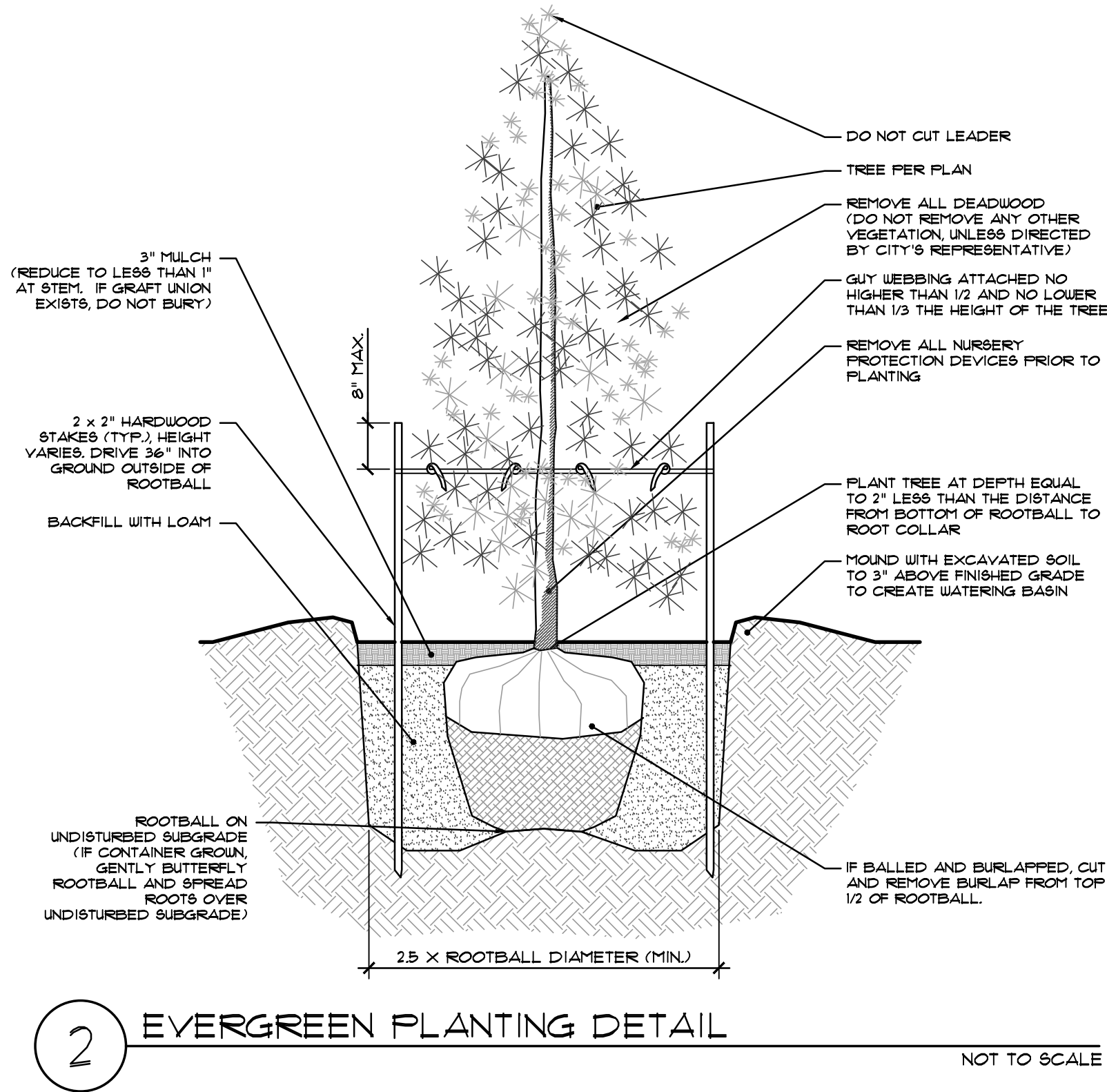
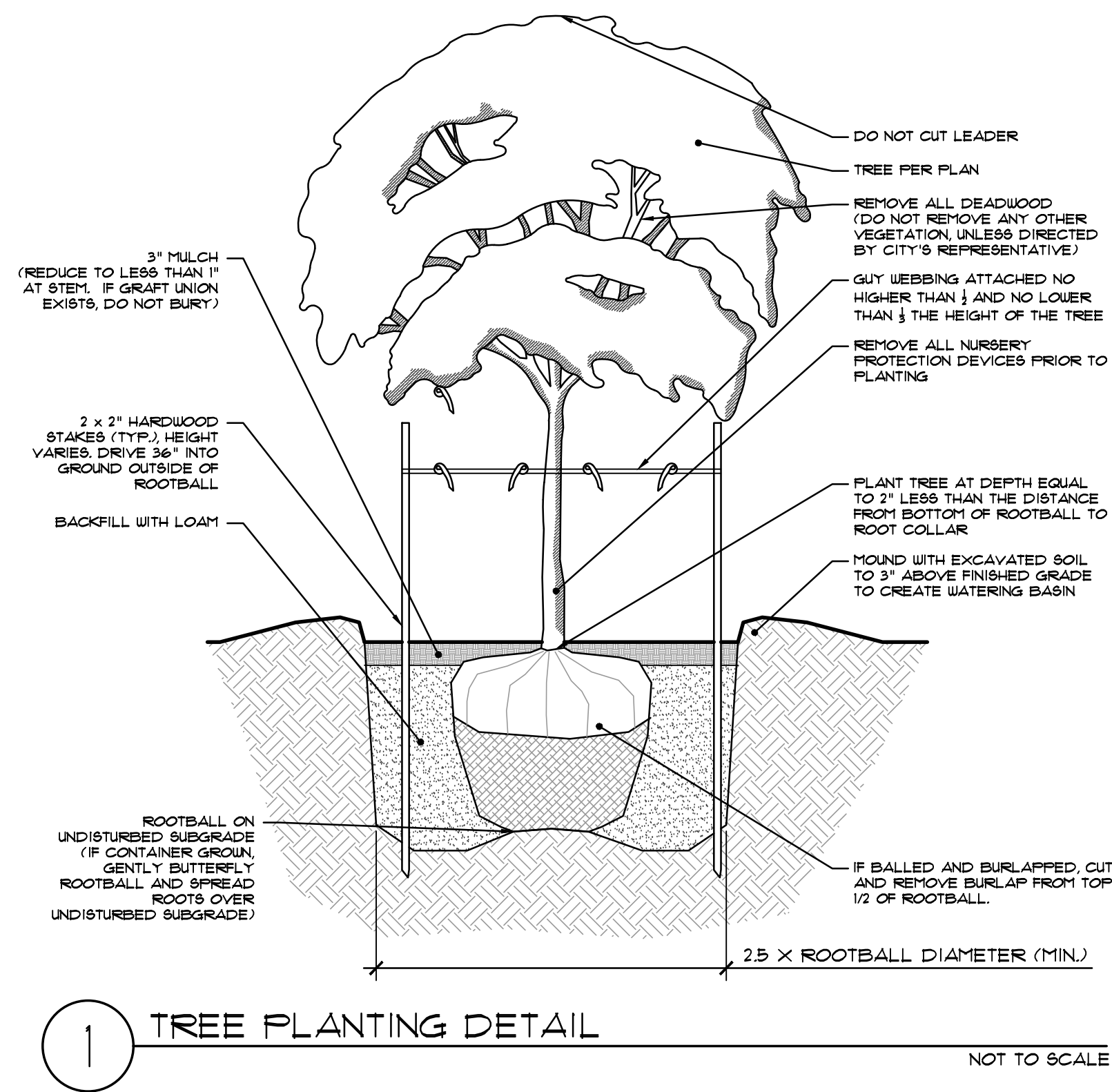


LANDSCAPE PLANTING ONLY

Landscape Notes and Details 1

Project #: 2.291.1316	Sheet 4 of 5
Scale: As Shown	L-4
Drawn By: KMA	
Checked By: KMA	
Date: April 22, 2021	ISSUED FOR PERMITTING





REVISION HISTORY:	
DATE	REVISION
6/21/21	Site Layout, Grading, and Lighting Locations and Adjusted Plantings

REFERENCES:

## East Point

Map 203, Block 1, Lot 4 &  
Map 303, Block 13, Lots 4 & 5  
Roger Williams Avenue  
East Providence, RI

Owner/Prepared For:  
Nobel Development, LLC  
10 Green Street  
Providence, RI 02903



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## Landscape Notes and Details 2

Project #: 2.291.316	Sheet 5 of 5
Scale: As Shown	<b>L-5</b>
Drawn By: KMA	
Checked By: KMA	
Date: April 22, 2021	ISSUED FOR PERMITTING