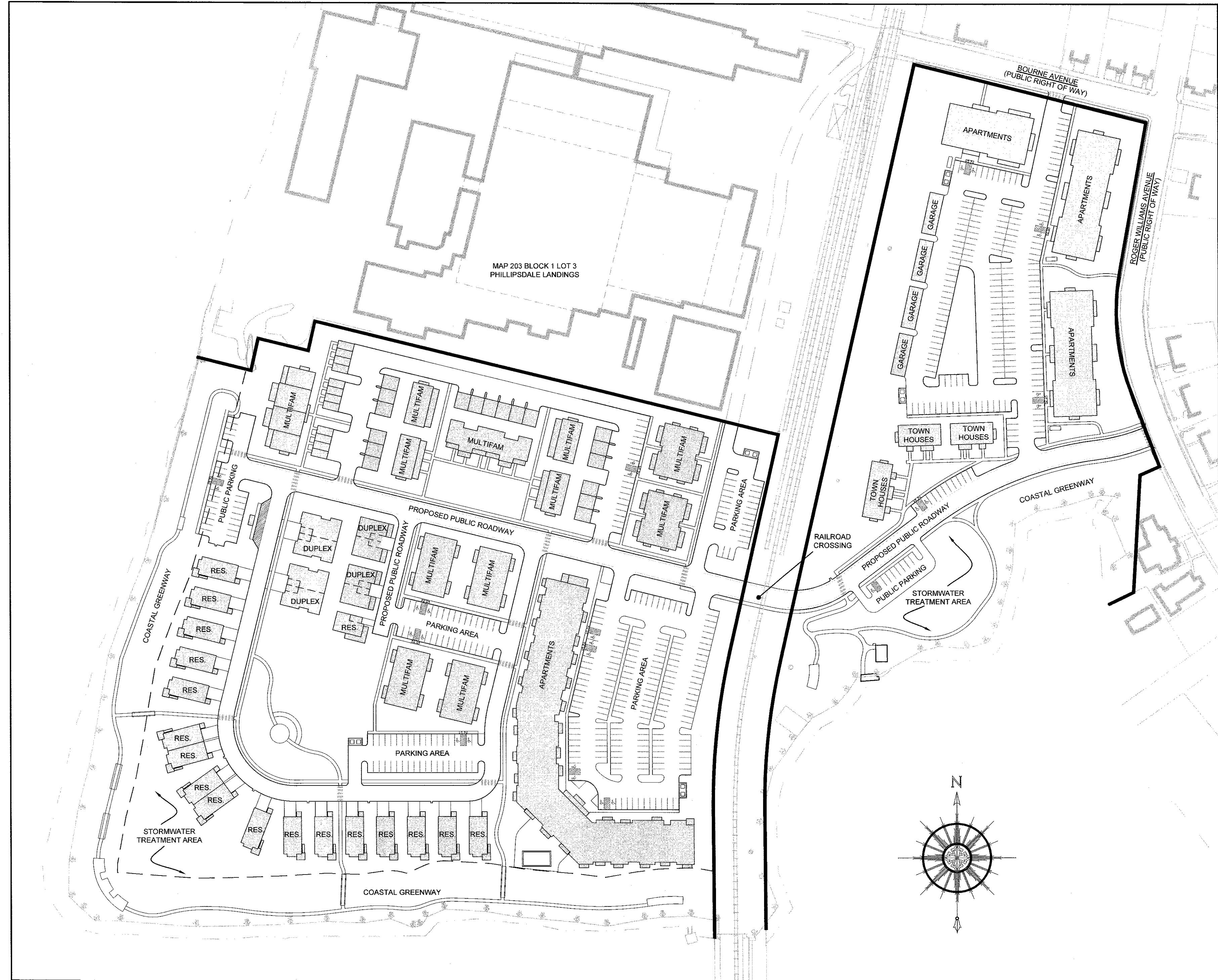


EAST POINT MULTIFAMILY DEVELOPMENT

FORMER OCEAN STATE STEEL SITE
MAP 203 BLOCK 1 LOT 4 AND MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE AND BOURNE AVENUE
EAST PROVIDENCE, RHODE ISLAND

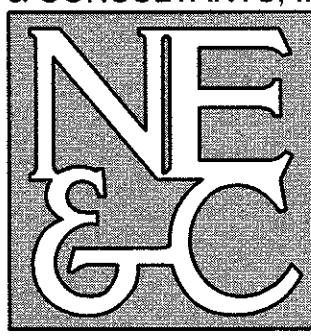


SITE PLAN

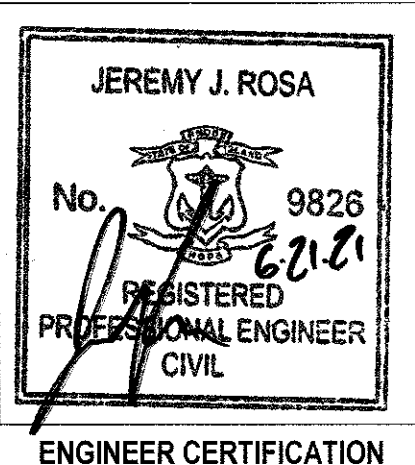
SCALE = 1" = 100'

CIVIL ENGINEER:

NORTHEAST ENGINEERS
& CONSULTANTS, INC.



A KNOWLEDGE CORPORATION
6 VALLEY ROAD MIDDLETOWN RI 02842
PHONE (401) 849-0810 FAX (401) 846-4169
WWW.NORTHEASTENGINEERS.COM



CLIENT:

NOBLE DEVELOPMENT, LLC
10 GREEN STREET
PROVIDENCE, RI 02903

LANDSCAPE ARCHITECT:

KEVIN M. ALVERSON LANDSCAPE ARCHIECTURE
360 ANNAQUATUCKET ROAD
WICKFORD, RI 02852
kma@kevinmalversonla.com

ARCHITECT:

UNION STUDIO
140 UNION STREET
PROVIDENCE, RI 02903

JUNE 21, 2021 PERMIT SET

PLAN INDEX

SITE/CIVIL ENGINEERING PLANS

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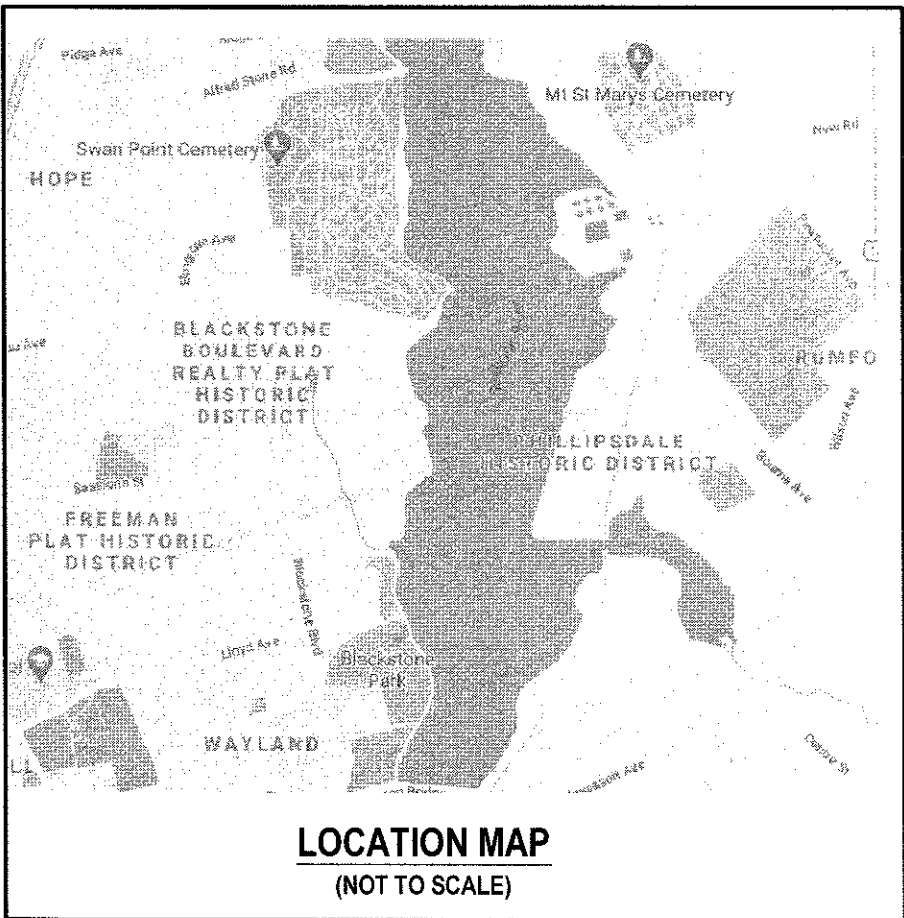
ADDENDUMS

- PLAN OF LAND (BY OTHERS)
- LANDSCAPING PLANS

- SHEET 1
- SHEETS L1-L5



STATE MAP
(NOT TO SCALE)



LOCATION MAP
(NOT TO SCALE)

SUBMISSION AND REVISION SUMMARY

AGENCY OR REVISION	DATE	COMMENTS
E. PROV. WATERFRONT COMMISSION	APR 23, 2021	
E. PROV. WATERFRONT COMMISSION	MAY 21, 2021	
CRMC	JUNE 17, 2021	
E. PROV. WATERFRONT COMMISSION	JUNE 21, 2021	

GENERAL NOTES

1. PROPERTY LINE INFORMATION REFERENCED FROM PLAN ENTITLED "BOUNDARY SURVEY PLAN MAP 205 - BLOCK 1 - LOT 4 MAP 303 - BLOCK 13 - LOTS 4 & 5 ROGER WILLIAMS AVE & BOURNE AVE - EAST PROVIDENCE, RI" PREPARED FOR GEONOVA DEVELOPMENT COMPANY, PREPARED BY WATERMAN ENGINEERING CO., SHEET 1 OF 1, DATED SEPT. 23, 2002, THROUGH REVISION 2 DATED 8-12-03, STAMPED AND SIGNED BY RICHARD S. LIPSITZ ON 8-15-03.
2. TOPOGRAPHY AND PLANIMETRICS OBTAINED BY BOTH ON-GROUND SURVEY PERFORMED BY NEAC IN 2005 THROUGH MULTIPLE DATA COLLECTIONS AND EXISTING CONDITIONS AERIAL PHOTOGRAMMETRY PROVIDED BY WATERMAN ENGINEERING CO. EXISTING SURVEY CONDITIONS DATA IS CURRENT AND ACCURATE AS OF DECEMBER 2005. EXISTING GROUND FEATURES UPDATED IN JANUARY 2021 BASED ON AERIAL PHOTOGRAPHY. DATUM IS NGVD29.
3. SUBJECT PROPERTIES ARE ZONED WATERFRONT DISTRICT / PHILLIPSDALE LANDING.
4. NORTH ARROW TAKEN FROM REFERENCE PLAN IN NOTE 1 ABOVE.
5. FRESHWATER WETLAND FLAGGING WAS PERFORMED BY NATURAL RESOURCE SERVICES IN OCTOBER 2020 AND FIELD LOCATED BY NEAC. COASTAL FLAGGING PERFORMED BY MASON & ASSOCIATES, INC. IN NOVEMBER 2020 AND FIELD LOCATED BY NEAC.
6. PROPERTY IS LOCATED WITH IN A FEM A ZONE "VE" (EL. 15), ZONE "VE" (EL. 13), ZONE "AE" (EL. 13), AND ZONE "X" PER FEMA FIRM 44007C0328J, MAP EFFECTIVE OCTOBER 2, 2015.
8. THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES.)
9. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
10. THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
11. THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
12. CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
13. STREET MONUMENTS THAT ARE DISTURBED SHALL BE RESTORED UNDER THE LICENSED LAND SURVEYOR'S DIRECTION. ANY NEW DATA SUCH AS ELEVATIONS SHALL BE CERTIFIED BY THE SURVEYOR, AND SUBMITTED TO THE CITY OF EAST PROVIDENCE.
14. DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
15. RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
16. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
17. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER."
18. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
19. PROJECT REQUIRES APPROVAL BY THE COASTAL RESOURCES MANAGEMENT COUNCIL.
20. BORING LOCATIONS SHOWN ON PLANS WERE PERFORMED IN MARCH OF 2004.

GRADING NOTES

1. ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
2. ALL GRADED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
3. THE CITY SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
4. NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE MUNICIPALITY, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS.
5. THE LIMITS OF DISTURBANCE SHALL BE FLAGGED BEFORE THE COMMENCEMENT OF THE GRADING WORK.
6. ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE MUNICIPALITY.
7. WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
8. TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN-PLACE AND ESTABLISHED.
9. IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
10. NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK, AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE BILLED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECTED TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

UTILITY NOTES

WATER

1. THE PROPOSED WATER SYSTEM AND ALL SERVICES REQUIRE THE REVIEW AND APPROVAL OF THE EAST PROVIDENCE WATER UTILITIES DIVISION AND THE CITY ENGINEER.
2. ALL WATER PIPES AND FITTINGS SHALL BE DUCTILE IRON CLASS 52, CEMENT LINED OR EQUAL WATER PIPE OF THE CLASS, QUALITY AND SIZE SPECIFIED AND REQUIRED BY THE CITY ENGINEER.
3. ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 4.5 FEET TO FINAL GRADE.
4. ALL VALVES SHALL BE OF A TYPE APPROVED BY THE CITY ENGINEER.
5. ALL HYDRANTS SHALL BE OF AN APPROVED TYPE AND INSTALLED IN LOCATIONS SPECIFIED BY THE CITY ENGINEER AND APPROVED BY THE FIRE CHIEF. HYDRANT LOCATIONS SHOWN ON THESE PLANS ARE PRELIMINARY.

ELECTRICAL AND COMMUNICATIONS

6. NEW ELECTRIC, TELEPHONE AND CABLE SERVICES SHALL BE INSTALLED UNDERGROUND.
7. THE LOCATIONS OF PROPOSED ELECTRICAL CONNECTIONS TO THE EXISTING OVERHEAD SERVICES ARE PRELIMINARY. FINAL DESIGN OF THE ELECTRICAL SERVICES IS SUBJECT TO DESIGN REVIEW AND APPROVAL OF NATIONAL GRID.

SEWER

8. THE PROPOSED SEWER SERVICES AND CONNECTIONS TO EXISTING MAINS IN ROGER WILLIAMS AVENUE AND BOURNE AVENUE SUBJECT TO REVIEW AND APPROVAL BY THE EAST PROVIDENCE DEPARTMENT OF PUBLIC WORKS AND THE CITY ENGINEER.
9. ALL GRAVITY SEWER MAINS AND SERVICES SHALL BE PVC, ASTM DESIGNATION D3034-SDR 35, WATERTIGHT PIPE AND FITTINGS SHALL BE USED IN ALL AREAS.
10. ALL GRAVITY MAINS SHALL HAVE A MINIMUM OF 3 FEET OF COVER.
11. ALL PRESSURIZED SEWER MAINS SHALL BE CLASS 200 SDR 21, ALL PUMPED LINES SHALL NOT DRAIN BACK TO PUMP STATIONS AND SHALL BE INSTALLED 4 FT BELOW GRADE. PROPER COMPACTION AN FORCE MAIN INSTALLATION SHALL BE PERFORMED TO ENSURE THAT NO LOW POINTS ARE CREATED. AIR RELIEF VALVES SHALL BE INSTALLED AS NEEDED AT ANY INTENDED HIGH POINTS IN THE SYSTEM.
12. PROPOSED PUMP STATIONS SUBJECT TO FURTHER DESIGN AND APPROVAL.

GENERAL

13. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.
14. IF THE CONTRACTOR ELECTS NOT TO EXPOSE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES AT CROSSINGS PRIOR TO PIPELINE EXCAVATION, HE/SHE FORFEITS HIS/HER RIGHTS FOR ANY CLAIMS FOR COMPENSATION CAUSED BY ANY CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EFFLUENT ASSOCIATED WITH THE CONSTRUCTION ACTIVITY AND THE DISINFECTION AND HYDROTESTING OPERATIONS TO SAFEGUARD PUBLIC HEALTH AND SAFETY IN ACCORDANCE WITH APPLICABLE DEPARTMENT OF HEALTH REQUIREMENTS. ALL PERMITS AND LICENSES FOR CONSTRUCTION WATER DISPOSAL, INCLUDING ALL APPLICATIONS, CHARGES, FEES, AND TAXES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. CONSTRUCTION SEQUENCE:

- A. DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
- B. ALL CONSTRUCTION VEHICLES SHALL ENTER AND LEAVE THE SITE VIA A PAVED ACCESS POINT OR A CONSTRUCTION ENTRANCE CONFORMING TO THE DETAIL PROVIDED.
- C. INSTALL SILT FENCES, SILT SACKS, AND/OR FILTER SOCKS AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF DOWNSTREAM AREAS PRIOR TO ANY EARTH MOVING ACTIVITIES.
- D. CONTRACTOR TO FIELD DELINEATE ALL ELUR AREAS USING EXISTING RECORDED DOCUMENTS, CONTRACTOR TO LOCATE AND DELINEATE EXISTING SEWER MAINS. SECTIONS OF EXISTING RAIL TO BE REMOVED SHALL BE COORDINATED WITH THE APPROPRIATE ENTITY. REFER TO RAILWAY CROSSING PLANS BY OTHERS.
- E. DEMOLISH EXISTING EXISTING PAVEMENT AND IMPROVEMENTS WITH THE EXCEPTION OF OVERHEAD ELECTRICAL LINES TO REMAIN AND SEWER FORCE MAINS. SECTIONS OF EXISTING RAIL TO BE REMOVED SHALL BE COORDINATED WITH THE APPROPRIATE ENTITY. REFER TO RAILWAY CROSSING PLANS BY OTHERS.
- F. ANY UTILITY POLES TO BE RELOCATED SHALL BE COORDINATED WITH NATIONAL GRID.
- G. ROUGH GRADE SITE PER CONSTRUCTION GRADING PLAN. REFER TO EARTHWORK NOTES THIS SHEET.
- H. BEGIN CONSTRUCTION OF DRAINAGE SYSTEM. MEDIA SHALL NOT BE PLACED IN FILTERING SYSTEM EXCAVATIONS UNTIL SITE GRADING IS COMPLETE. UNTIL THIS TIME THESE EXCAVATIONS SHALL BE USED AS TEMPORARY SEDIMENT BASINS. CONVEYANCE SYSTEMS SHALL BE CONSTRUCTED FROM THE DOWNSTREAM ENDS OF THE PIPE LINES. TEMPORARY EROSION BLANKETS SHALL BE USED WHERE NECESSARY TO STABILIZE DRAINAGE SWALES.
- I. CONSTRUCT SEWER AND WATER CONVEYANCE SYSTEMS. COORDINATE INSTALLATIONS WITH EAST PROVIDENCE PUBLIC WORKS AND THE CITY ENGINEER. CONTRACTOR TO COMPLETE ALL NECESSARY TESTING OF SEWER AND WATER SYSTEMS IN CONFORMANCE WITH CITY STANDARDS.
- J. CONSTRUCT UNDERGROUND ELECTRICAL AND COMMUNICATION DISTRIBUTION SYSTEM IN COORDINATION WITH NATIONAL GRID AND OTHER SERVICE PROVIDERS.
- K. FINAL GRADE SITE AND INSTALL BINDER PAVEMENT COURSE. SET CURBING PER DETAILS PROVIDED. BUILDING PADS SHALL BE LEVELED, COMPACTED AND STABILIZED FOR DEVELOPMENT BUILDOUT.
- L. REMOVE CONSTRUCTION SEDIMENTS FROM DRAINAGE SYSTEM AND PLACE FILTER MEDIAS.
- M. INSTALL COASTAL AND DRAINAGE SYSTEM PLANTINGS ACCORDING TO APPROVED LANDSCAPING PLANS.
- N. INSTALL TOP PAVEMENT COURSE AND MAINTAIN SITE IN ACCORDANCE WITH THE MAINTENANCE NOTES.

2. EARTHWORK NOTES:

- A. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED. AS NOTED, ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- B. AREA OF PROPOSED DRAINAGE SYSTEM SHALL NOT BE USED FOR STOCKPILES OR STORAGE OF MATERIALS OR EQUIPMENT.
- C. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
- D. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
- E. ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
- F. FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
- G. ALL FILL SHALL BE PLACED AND COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS FILLS.
- H. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.

- I. FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.

- J. FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.

- K. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.

- L. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.

- M. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOWINGS.

3. VEGETATIVE PRACTICE:

PERMANENT MEASURES:

- A. SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
- B. LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L01 & L02.
- C. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.

TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)

- D. LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10) 600 LBS/ACRE
- E. SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
WINTER RYE: 100 LBS/ACRE
- F. STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.

4. MAINTENANCE

DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.

- A. AT A MINIMUM THE SILT FENCING, STRAW BALES AND FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
- B. EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
- C. SILT SACKS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. DURING HEAVY RAIN EVENT, IT MAY BE NECESSARY TO TEMPORARILY REMOVE SACKS IN ORDER TO PREVENT FLOODING. SEDIMENT TRAPPED WITHIN SACKS SHALL BE DISPOSED OF OFF SITE AT A LICENSED FACILITY OR REGRADED ON THE SITE.
- D. STONE RIPRAP SHALL BE INSPECTED MONTHLY FOR EXCESSIVE ACCUMULATION OF SEDIMENT. IT MAY BE NECESSARY TO REMOVE STONES, EXCAVATE SEDIMENT, AND REPLACE STONES.
- E. THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE REMOVED PRIOR TO PAVING. DURING CONSTRUCTION THE ENTRANCE SHALL BE INSPECTED WEEKLY, AND RE-ESTABLISHED AS NECESSARY.
- F. SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE CITY ENGINEER.

DRAINAGE NOTES

1. ALL DRAIN PIPES ON SITE SHALL BE ADS-N12 TYPE IB OR SCH40 PVC UNLESS OTHERWISE NOTED ON THESE PLANS. CLASS IV RCP REQUIRED IN AREAS WITH LESS THAN 2 FEET OF COVER OVER DRAIN PIPES.
2. ALL DRAIN STRUCTURES SHALL BE PRECAST CONCRETE AS INDICATED ON THE DETAIL SHEETS UNLESS OTHERWISE NOTED ON THESE PLANS.
3. ALL PRECAST CONCRETE CATCH BASINS SHALL HAVE 3-FOOT SUMPS UNLESS OTHERWISE NOTED AS DEEP SUMP ON THE PLANS OR PROFILES IN WHICH CASE THE STRUCTURE SHALL HAVE A 4-FOOT SUMP.

PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES

1. CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
2. THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
3. NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
4. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

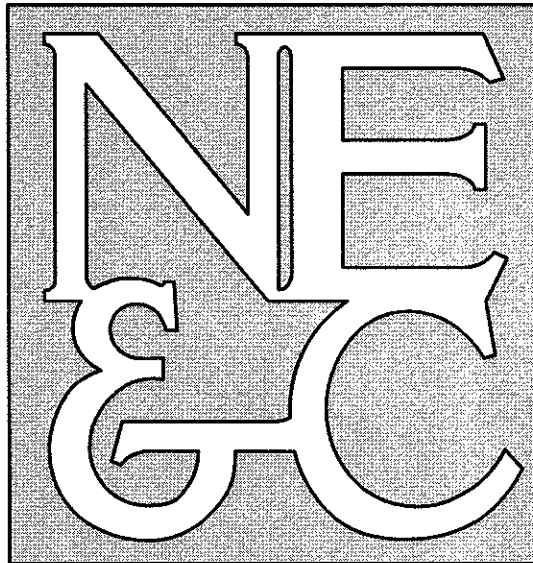
STORMWATER MAINTENANCE NOTES

1. REFER TO OPERATIONS AND MAINTENANCE DOCUMENT FOR COMPLETE DESCRIPTION OF POST CONSTRUCTION STORMWATER MAINTENANCE. A BASIC OUTLINE OF REQUIRED MAINTENANCE IS PROVIDED BELOW.
2. SAND FILTER MAINTENANCE:
a. GRASSES AND/OR SPECIFIED VEGETATION SHALL BE PLANTED AROUND AND WITHIN THE SAND FILTER IMMEDIATELY FOLLOWING CONSTRUCTION TO STABILIZE SLOPES AND PREVENT EROSION.
b. THE FILTER SHOULD BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, THE FILTER SHOULD BE INSPECTED AT LEAST ANNUALLY AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT (2.8 INCHES).
c. THE FOLLOWING SHALL ALSO BE COMPLETED ON AN ANNUAL BASIS:
i. THE SLOPES OF THE FILTER SHOULD BE INSPECTED FOR EROSION AND GULLYING.
ii. REINFORCE ANY EXISTING RIPRAP IF IT IS FOUND TO BE DEFICIENT, EROSION IS PRESENT AT THE OUTLET STRUCTURES, OR ANY EXISTING RIPRAP HAS BEEN COMPROMISED.
iii. ANY AREAS WITHIN THE EXTENTS OF THE FILTER THAT ARE SUBJECT TO EROSION OR GULLYING SHOULD BE REPLENISHED WITH THE ORIGINAL DESIGN MATERIAL AND RE-VEGETATED ACCORDING TO DESIGN DRAWINGS. SLOPE PROTECTION MATERIAL SHOULD BE PLACED IN AREAS PRONE TO EROSION. EMBANKMENT STABILITY SHOULD BE INSPECTED FOR SEEPAGE AND BURROWING ANIMALS.
iv. MOW THE GRASS AROUND THE PERIMETER OF AND WITHIN THE FILTER. SEED BARE AREAS, AND REMOVE LITTER AND DEBRIS AT LEAST THREE TIMES PER GROWING SEASON TO MAINTAIN MAXIMUM GRASS HEIGHTS LESS THAN TWELVE INCHES. REMOVE ANY INVASIVE VEGETATION WITHIN THE EXTENTS OF THE FILTER. ANY INVASIVE VEGETATION ENCRANCHING UPON THE PERIMETER OF THE FILTER SHOULD BE PRUNED OR REMOVED IF IT IS PROHIBITING ACCESS TO THE FILTERS, COMPROMISING SIGHT VISIBILITY, AND/OR COMPROMISING THE ORIGINAL DESIGN INTENT. IF DEAD OR DYING GRASS ON THE BOTTOM IS OBSERVED, CHECK TO ENSURE THAT WATER INFILTRATES WITHIN TWO DAYS FOLLOWING STORMS.
v. SILTSEDIMENT SHOULD BE REMOVED FROM THE FILTER BEDS ANNUALLY, WHEN ACCUMULATION EXCEEDS 1 INCH, OR WHEN THE FILTERING CAPACITY DIMINISHES SUBSTANTIALLY. IF STANDING WATER IS OBSERVED MORE THAN 48 HOURS AFTER A STORM EVENT, THEN THE TOP 8 INCHES OF MEDIA SHOULD BE REMOVED AND REPLACED. IF DISCOLORED OR CONTAMINATED MATERIAL IS FOUND BELOW THIS REMOVED SURFACE THEN THAT MATERIAL SHOULD ALSO BE REMOVED AND REPLACED UNTIL ALL CONTAMINATED SAND HAS BEEN REMOVED FROM THE FILTER MEDIA. THE SAND SHOULD BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS. THE FILTER SURFACE SHALL BE REPLANTED ACCORDING TO THE ORIGINAL DESIGN DOCUMENTS.
3. CONVEYANCE STRUCTURE MAINTENANCE:
3.1. ALL STRUCTURE INLET / OUTFLOW PIPES ARE TO BE INSPECTED AT LEAST THREE TIMES IN THE FIRST SIX MONTHS OF OPERATION. EVIDENCE OF CLOGGING, OR RAPID RELEASE OF FLOW SHALL BE REPORTED TO THE PROJECT ENGINEER AND REMEDIED IMMEDIATELY.
3.2. CONVEYANCE STRUCTURES SHOULD BE INSPECTED QUARTERLY. ANY STRUCTURAL FAULTS SHOULD BE REPAIRED AS NECESSARY FOR PROPER FUNCTION OF THE STRUCTURE. CATCH BASIN SUMPS SHALL BE VACUUMED OUT BIANNUALLY OR EACH TIME 50% OF THE AVAILABLE STORAGE HAS BEEN DEPLETED.
3.3. ROOF RUNOFF STRUCTURES SUCH AS GUTTERS AND DOWNSPOUTS SHOULD BE CLEAN AND FREE OF OBSTRUCTIONS THAT REDUCE FLOW. A REGISTERED PROFESSIONAL ENGINEER SHOULD BE CONSULTED IF NECESSARY TO DETERMINE WHETHER A STRUCTURE HAS BEEN COMPROMISED.
4. ALL PARKING LOTS AND ROADWAYS RE TO BE SWEEP USING A VACUUM TRUCK TWICE A YEAR.
5. UPON COMPLETION OF THE CONSTRUCTION, MAINTENANCE OF THE STORMWATER SYSTEM SHALL BECOME THE RESPONSIBILITY OF THE OWNER. REFER TO THE STORMWATER OPERATIONS AND MAINTENANCE DOCUMENT.
6. MAINTENANCE OF THE STORMWATER SYSTEM DURING CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ABBREVIATIONS

AC	ASPHALT PAVEMENT
ADJ	ADJACENT
AP	ASSESSOR'S PLAT
ACCESS	ACCESSIBLE
ARCH	ARCHITECT
BC	BOTTOM OF CURB
BH	BORING HOLE
BIT	BITUMINOUS
BOW	BOTTOM OF WALL
CLR	CLEARANCE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONN	CONNECT
COTG	CLEAN OUT TO GRADE
CF	CUBIC FOOT
DEMO	DEMOLISH
D	DRAIN INLET
DIA	DIAMETER
DMH	DRAIN MANHOLE
dp	DROP PIPE
DS	DOWN SPOUT
DWG	DRAWING
E	ELEVATION
ELEV/EL	ELECTRIC
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EQ	EQUAL
EXIST	EXISTING
EXP	EXPANSION
FFE	FINISH FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FT	FEET
G	GAS
GAL	GALLON
GV	GATE VALVE
INV	INVERT
JT	JOINT
L	LENGTH
LAND	LANDSCAPE
NTS	NOT TO SCALE
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
PAVT	PAVEMENT
PVC	POLYVINYLCHLORIDE
R	RADIUS
RC	REINFORCED CONCRETE
RECONN	RECONNECT
RHB	RHODE ISLAND HIGHWAY BOUND
RIDOT	RHODE ISLAND DEPARTMENT OF TRANSPORTATION
ROW	RIGHT OF WAY
S	SLOPE, SEWER
SF	SQUARE FEET
SHT	SHEET
SMH	SEWER MANHOLE
STA	STATION
STRUCT	STRUCTURAL
TC	TOP OF CURB
TOP	TOP OF SURFACE
TOW	TOP OF WALL
UGT	UNDERGROUND TELEPHONE
TYP	TYPICAL
W	WATER
W	WITH
WMM	WELDED WIRE MESH

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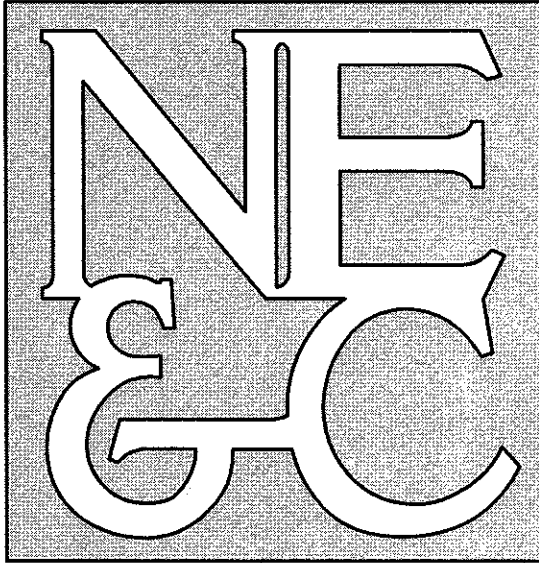


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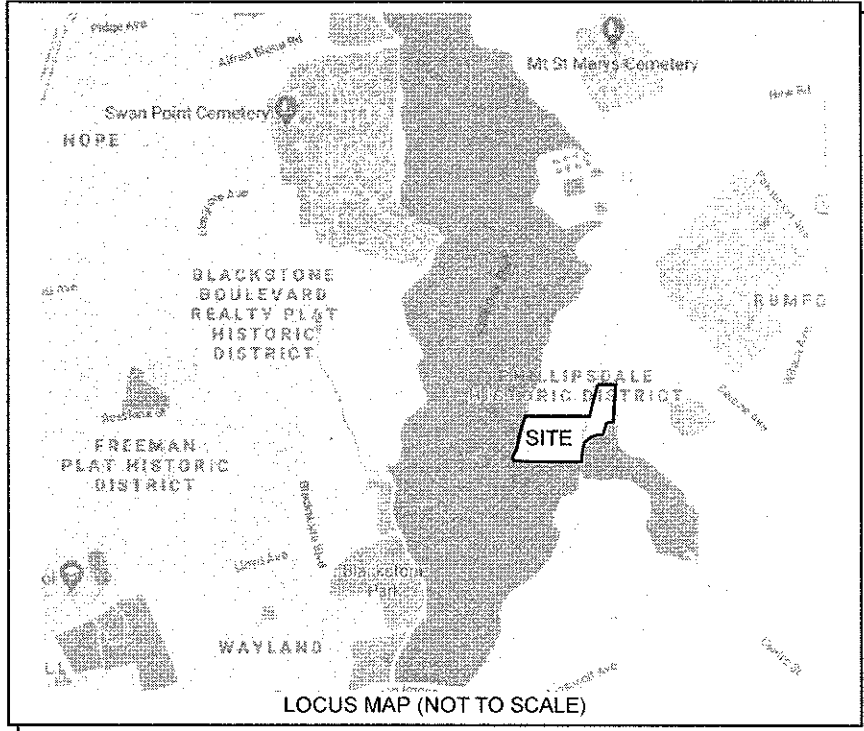
2	SUBMISSION REVISIONS		21JUN21	
1	SUBMISSION REVISIONS		21MAY21	
Revision		Date	App.	
Designed By:	JJR	Drawn by:	JJR	Checked by: GES
Scale:	N/A		Date:	22APR21
Project Title:				
"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND				
Client/Owner:				
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903				
Issued for:				
PERMITTING				
Drawing Title:				
PROJECT NOTES				
Drawing Number:		C-2		
Sheet		2 of 22		
Project Number:		20072.0		
Survey Index:		— —		
<div><div><div>JEREMY J. ROSA</div><div>No. 9826</div><div>REGISTERED PROFESSIONAL ENGINEER CIVIL</div></div><div>Drawing Number: C-2</div><div>Sheet 2 of 22</div><div>Project Number: 20072.0</div><div>Survey Index: — —</div><div>OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER</div></div>				



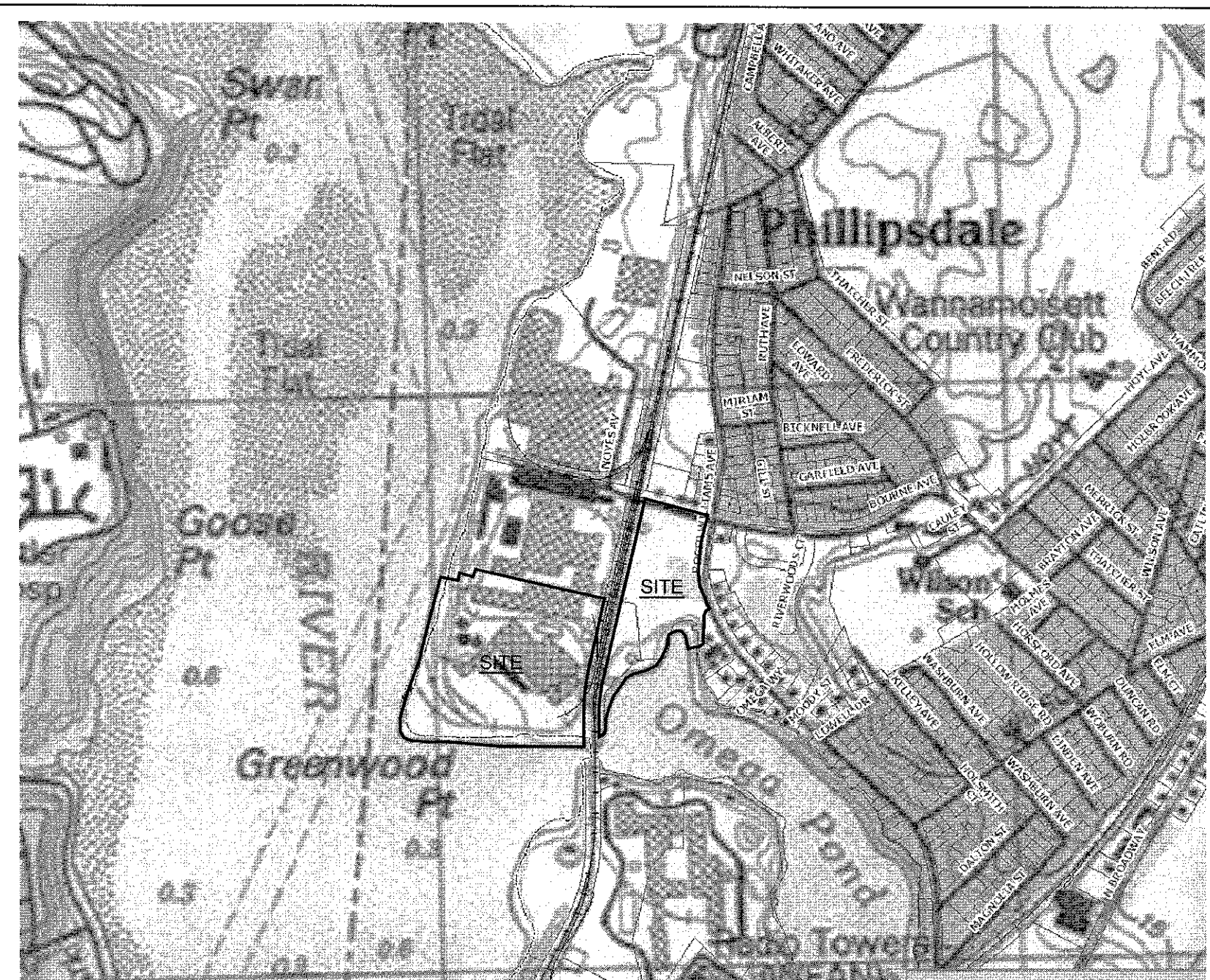
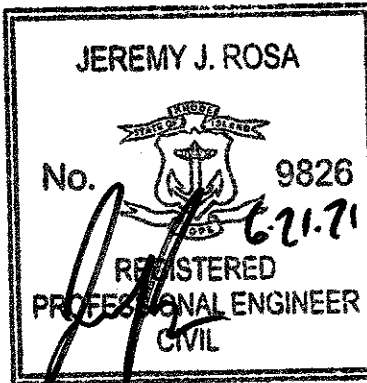
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1	SUBMISSION REVISIONS	21MAY21	
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Checked by:	GES		
Scale:	1"=100'	Date:	22APR21
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Client/Owner:			
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Issued for:			
PERMITTING			
Drawing Title:			
INDEX PLAN (SHOWING 200' ABUTTERS)			
Drawing Number:			
C-3			
Sheet 3 of 22			
Project Number:			
20072.0			
Survey Index:			
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USGS INSET

EAST POINT:
COASTAL SIDE

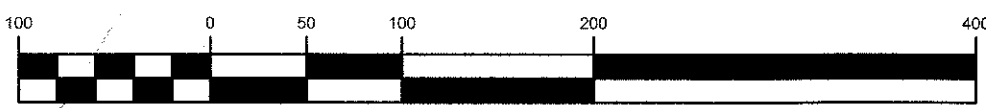
SEEKONK
RIVER
(CRMC TYPE 4
WATERS)

EAST POINT:
POND SIDE

SEEKONK
RIVER
(CRMC TYPE 4
WATERS)

MAP 204 BLOCK 11 LOT 1
N/F ARPAD J. MERRA REVOCABLE
LIVING TRUST

GRAPHIC SCALE



(in feet)
1 inch = 100 feet



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LEGEND:

- PROPERTY LINE
- ABUTTER PROPERTY LINE
- UTILITY EASEMENT LINE
- ACCESS EASEMENT LINE
- FENCE LINE
- TOPOGRAPHIC CONTOUR
- SEWER MAIN (18")
- SEWER MAIN (DIA. UNIDENTIFIED)
- GAS MAIN (8")
- GAS MAIN (8")
- GAS MAIN (12")
- GAS MAIN (DIA. UNIDENTIFIED)
- WATER MAIN (10")
- DRAIN LINE (DIA. UNIDENTIFIED)
- OVERHEAD WIRES
- SEWER FORCE MAIN
- EDGE OF COASTAL FEATURE / WETLAND
- 50' SETBACK FROM COASTAL FEATURE / WETLAND
- FEMA FLOOD LINE
- BRUSH LINE
- COASTAL FEATURE FLAG
- FRESHWATER WETLAND FLAG
- IRON ROD
- SURVEY NAIL
- CONCRETE BOUND
- FIRE HYDRANT
- DRAIN MANHOLE
- CATCH BASIN INLET
- SEWER MANHOLE
- UTILITY POLE
- LIGHT POLE
- GUY WIRE
- SOIL BORING LOCATION

1	SUBMISSION REVISIONS		21MAY21	
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Client/Owner:				
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PERMITTING				
Drawing Title:				
EXISTING CONDITIONS (COASTAL SIDE)				
Drawing Number:				
C-4				
Sheet 4 of 22				
Project Number:				
20072.0				
Survey Index:				
—				

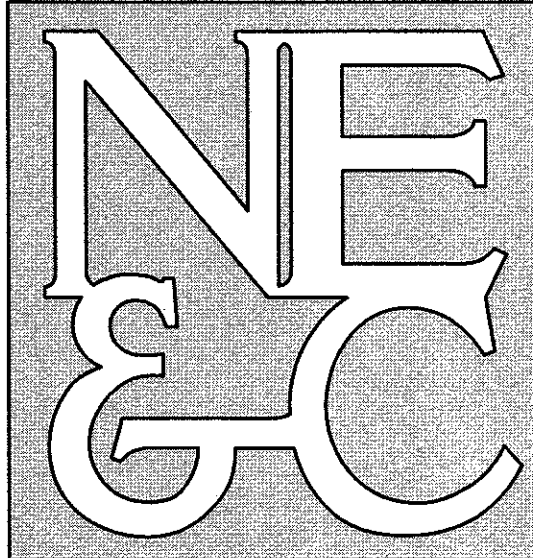
JEREMY J. ROSA
No. 9826
REGISTERED
PROFESSIONAL ENGINEER
CIVIL

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NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET 2.

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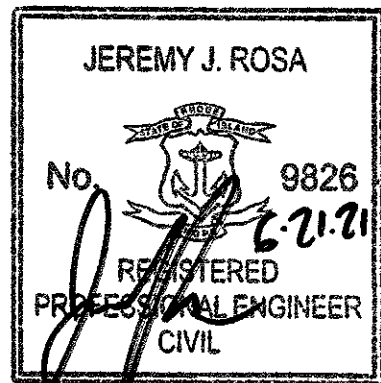
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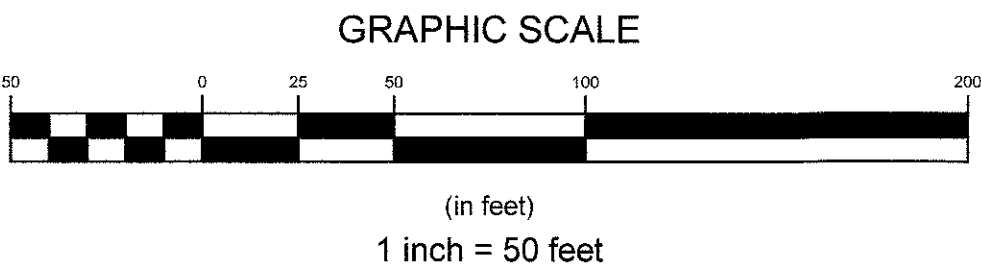
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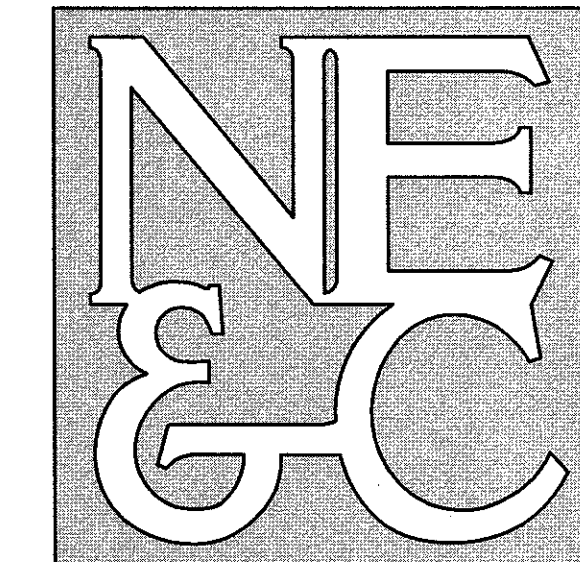
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---	ADJUTER PROPERTY LINE
---	UTILITY EASEMENT LINE
---	ACCESS EASEMENT LINE
---	FENCE LINE
---	TOPOGRAPHIC CONTOUR
---	SEWER MAIN (18")
---	SEWER MAIN (DIA. UNIDENTIFIED)
---	GAS MAIN (8")
---	GAS MAIN (12")
---	GAS MAIN (DIA. UNIDENTIFIED)
---	WATER MAIN (10")
---	DRAIN LINE (DIA. UNIDENTIFIED)
---	OVERHEAD WIRES
---	SEWER FORCE MAIN
---	EDGE OF COASTAL FEATURE / WETLAND
---	50 SETBACK FROM COASTAL FEATURE / WETLAND
---	FEMA FLOOD LINE
---	BRUSH LINE
---	COASTAL FEATURE FLAG
---	FRESHWATER WETLAND FLAG
---	IRON ROD
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---	CONCRETE BOUND
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---	UTILITY POLE
---	LIGHT POLE
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---	SOIL BORING LOCATION

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Client/Owner:				
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903				
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PERMITTING				
Drawing Title:				
EXISTING CONDITIONS (POND SIDE)				
		Drawing Number:		
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		Project Number: 20072.0		
		Survey Index: — —		
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LEGEND:

---	PROPERTY LINE
---	ADJUTER PROPERTY LINE
---	UTILITY EASEMENT LINE
---	ACCESS EASEMENT LINE
---	FENCE LINE
---	EDGE OF COASTAL FEATURE / WETLAND
---	50' SETBACK FROM COASTAL FEATURE / WETLAND
---	COASTAL FEATURE FLAG
---	FRESHWATER WETLAND FLAG
---	IRON ROD
---	SURVEY NAIL
---	CONCRETE BOUND
---	FIRE HYDRANT
---	DRAIN MANHOLE
---	CATCH BASIN INLET
---	SEWER MANHOLE
---	PROPOSED CURBING
---	PROPOSED 25' CONSTRUCTION SETBACK
---	PROPOSED SWALE
---	PROPOSED PARKING CALLOUT
---	PROPOSED ADA SPACE
---	PROPOSED CATCH BASIN
---	PROPOSED DRAIN MANHOLE
---	PROPOSED SEWER MANHOLE

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"EAST POINT"
MAP 203 BLOCK 1 LOT 4
MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

Client/Owner:
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10 GREEN STREET
PROVIDENCE, RI 02903

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Drawing Title:
LAYOUT PLAN
(POND SIDE)

Drawing Number:	C-7
Sheet	7 of 22
Project Number:	20072.0
Survey Index:	

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POND SIDE PARKING CALCULATIONS TABLE:	
TOTAL NUMBER OF UNITS:	144 UNITS
TOTAL ACREAGE:	8.31 ACRES
POND SIDE DENSITY:	17.3 UNITS / ACRE
DENSITY RATING PER EAST PROVIDENCE COMPREHENSIVE PLAN UPDATE 2010-2015:	HIGH DENSITY
PARKING PER UNIT REQUIRED BY CODE:	2 SPACES PER UNIT
PARKING GOALS:	
2 SPACES PER TOWNHOUSE (10 UNITS):	
TOWNHOUSE GOAL PARKING:	20 SPACES
TOWNHOUSE CODE REQ. PARKING:	20 SPACES
TOWNHOUSE PARKING PROVIDED:	24 SPACES
1.5 SPACES PER APARTMENT UNIT (134 UNITS):	
APARTMENT GOAL PARKING:	201 SPACES
APARTMENT CODE REQ. PARKING:	208 SPACES
APARTMENT SPACES PROVIDED:	208 SPACES

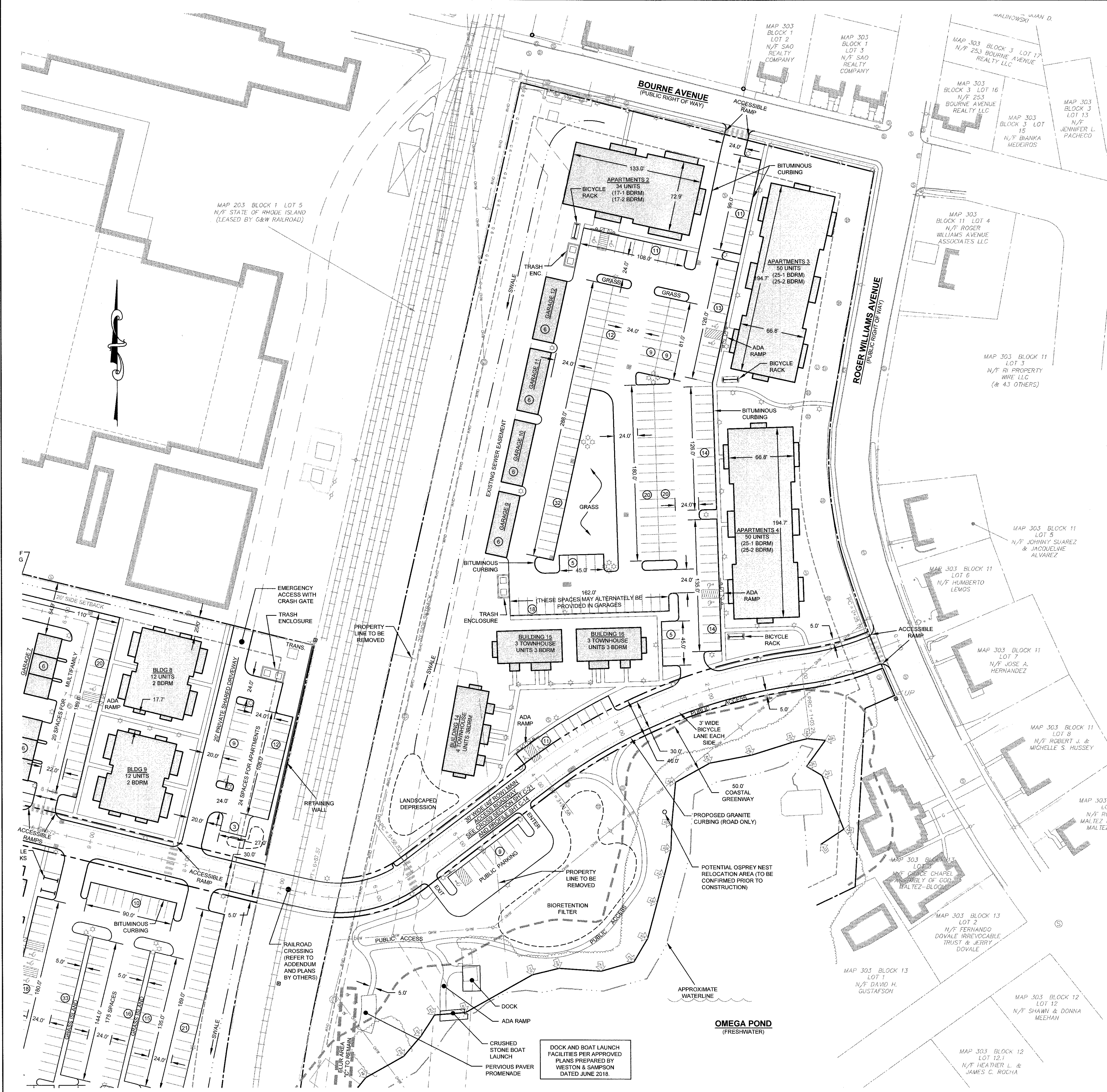
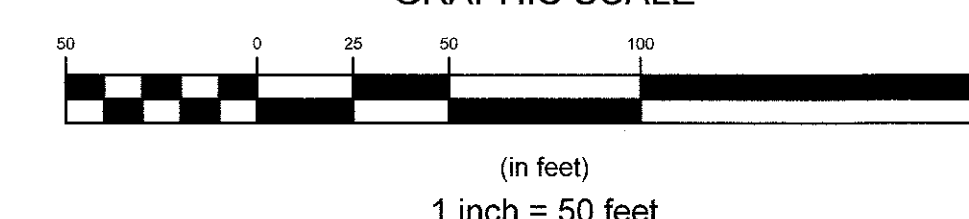
ZONING DATA: WATERFRONT (PHILLIPSDALE)

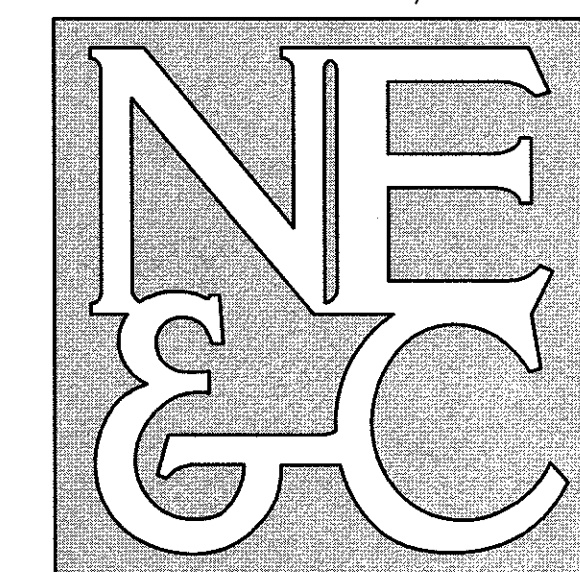
MIN. LOT AREA	60,000 SF
MIN. LOT WIDTH	200'
MIN. LOT DEPTH	250'
FRONT YARD	30'
SIDE YARD	20'
REAR YARD	20'
MAX LOT COVERAGE	60%
MAX BLDG HGT	40'

NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET 2.

GRAPHIC SCALE





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LEGEND:

---	PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	ACCESS EASEMENT LINE
---	FENCE LINE
---	TOPOGRAPHIC CONTOUR
S 18"	SEWER MAIN (18")
S 15"	SEWER MAIN (15")
S 12"	SEWER MAIN (12")
S 10"	SEWER MAIN (10")
S 8"	SEWER MAIN (8")
S 6"	SEWER MAIN (6")
S 4"	SEWER MAIN (4")
S 3"	SEWER MAIN (3")
S 2"	SEWER MAIN (2")
S 1"	SEWER MAIN (1")
---	WATER MAIN (10")
---	WATER MAIN (8")
---	WATER MAIN (6")
---	WATER MAIN (4")
---	WATER MAIN (3")
---	WATER MAIN (2")
---	WATER MAIN (1")
---	DRAIN LINE (10")
---	DRAIN LINE (8")
---	DRAIN LINE (6")
---	DRAIN LINE (4")
---	DRAIN LINE (3")
---	DRAIN LINE (2")
---	DRAIN LINE (1")
---	OVERHEAD WIRES
---	SEWER FORCE MAIN
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---	50' SETBACK FROM COASTAL FEATURE / WETLAND
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---	FIRE HYDRANT
---	DRAIN MANHOLE
---	CATCH BASIN INLET
---	SEWER MANHOLE
---	PROPOSED 25' CONSTRUCTION SETBACK
---	PROPOSED DRAIN LINE
---	PROPOSED SPOT ELEVATION
---	PROPOSED CATCH BASIN
---	PROPOSED DRAIN MANHOLE
---	PROPOSED 8" WATER MAIN
---	PROPOSED 6" WATER SERVICE
---	PROPOSED 4" SEWER MAIN
---	PROPOSED 3" SEWER SERVICE
---	PROPOSED 2" SEWER MAIN
---	PROPOSED 1" SEWER SERVICE
---	PROPOSED UG ELECTRICAL CONDUIT
---	PROPOSED SEWER MANHOLE
---	PROPOSED WATER GATE / SERVICE

2	SUBMISSION REVISIONS	21JUN21	
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"EAST POINT"
MAP 203 BLOCK 1 LOT 4
MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

Client/Owner:
NOBLE DEVELOPMENT, LLC
10 GREEN STREET
PROVIDENCE, RI 02903

Issued for:
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Drawing Title:

UTILITY PLAN
(POND SIDE)

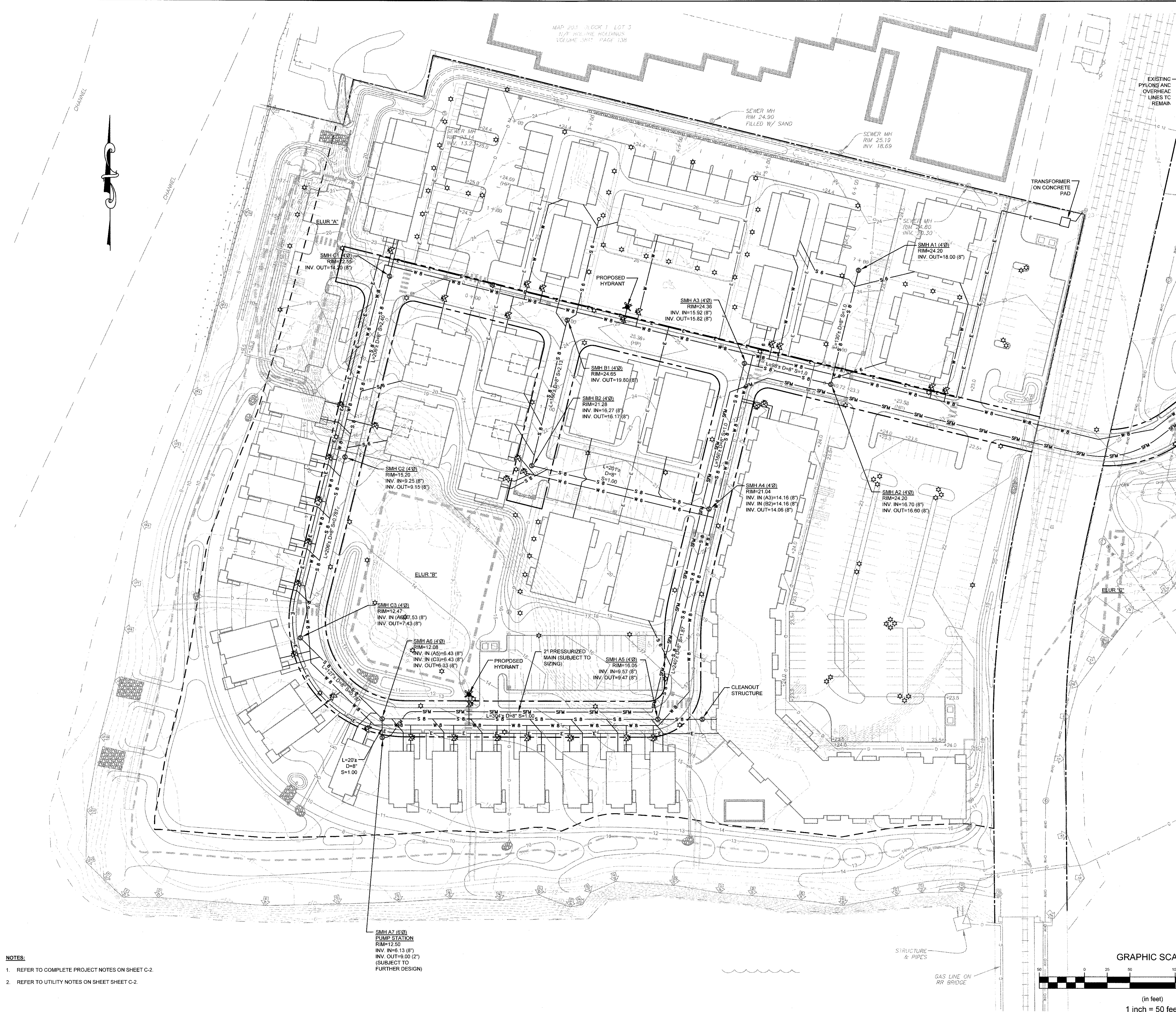
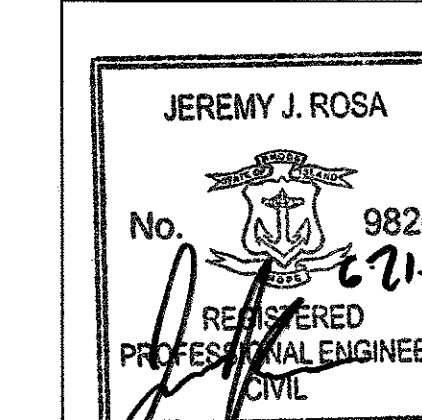
Drawing Number:
C-8

Sheet 8 of 22

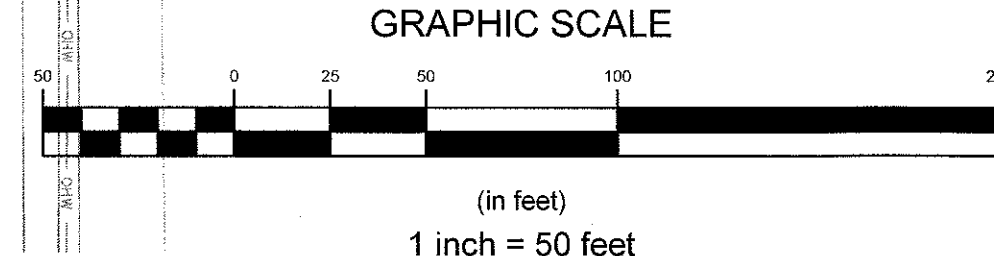
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20072.0

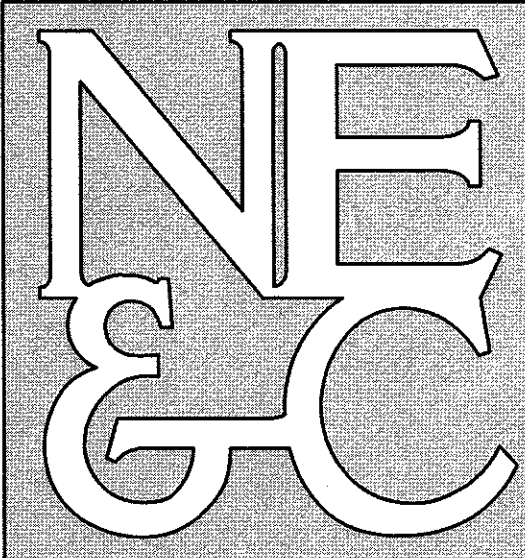
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- NOTES:
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 - REFER TO UTILITY NOTES ON SHEET C-2.





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---	PROPOSED CATCH BASIN
---	PROPOSED DRAIN MANHOLE
---	PROPOSED 8" WATER MAIN
---	PROPOSED 8" SEWER MAIN
---	PROPOSED 8" SEWER SERVICE
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Designed By:	JJR	Drawn by:	JJR
Scale:	1"=50'	Checked by:	GES
Date:	22APR21		

Project Title:
"EAST POINT"
MAP 203 BLOCK 1 LOT 4
MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

Client/Owner:
NOBLE DEVELOPMENT, LLC
10 GREEN STREET
PROVIDENCE, RI 02903

Issued for:
PERMITTING

Drawing Title:
UTILITY PLAN
(POND SIDE)

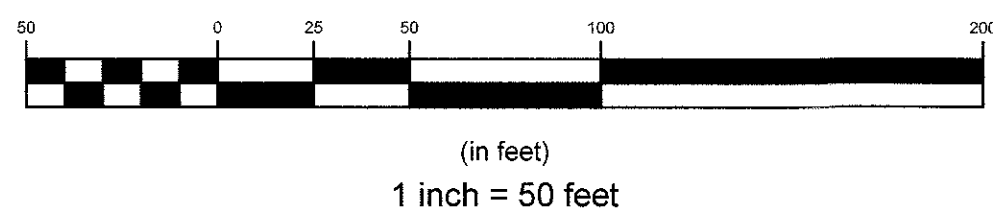
 JEREMY J. ROSA No. 9828 REGISTERED PROFESSIONAL ENGINEER CIVIL	Drawing Number:	C-9
	Sheet	9 of 22
	Project Number:	20072.0
	Survey Index:	

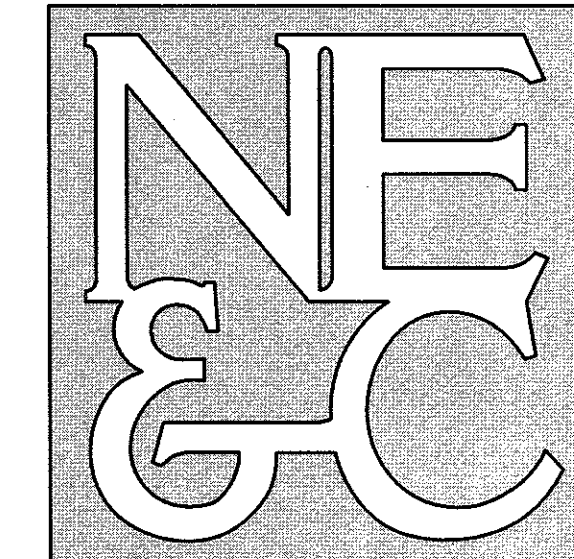
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NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.
2. REFER TO UTILITY NOTES ON SHEET C-2.

GRAPHIC SCALE





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STRUCTURAL

LEGEND:

---	PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	ACCESS EASEMENT LINE
---	FENCE LINE
---	TOPOGRAPHIC CONTOUR
---	SEWER MAIN (18")
---	SEWER MAIN (DIA. UNIDENTIFIED)
---	GAS MAIN (6")
---	GAS MAIN (8")
---	GAS MAIN (12")
---	GAS MAIN (DIA. UNIDENTIFIED)
---	WATER MAIN (10")
---	DRAIN LINE (DIA. UNIDENTIFIED)
---	OVERHEAD WIRES
---	SEWER FORCE MAIN
---	EDGE OF COASTAL FEATURE / WETLAND
---	50' SETBACK FROM COASTAL FEATURE / WETLAND
---	FEMA FLOOD LINE
---	COASTAL FEATURE FLAG
---	FRESHWATER WETLAND FLAG
---	IRON ROD
---	SURVEY NAIL
---	CONCRETE BOUND
---	FIRE HYDRANT
---	DRAIN MANHOLE
---	CATCH BASIN INLET
---	SEWER MANHOLE
---	PROPOSED 24" CONSTRUCTION SETBACK
---	PROPOSED DRAIN LINE
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION

2	SUBMISSION REVISIONS	21JUN21	
1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Scale:	1"=50'	Date:	22APR21
Checked by:	GES		

Project Title:
"EAST POINT"
MAP 203 BLOCK 1 LOT 4
MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

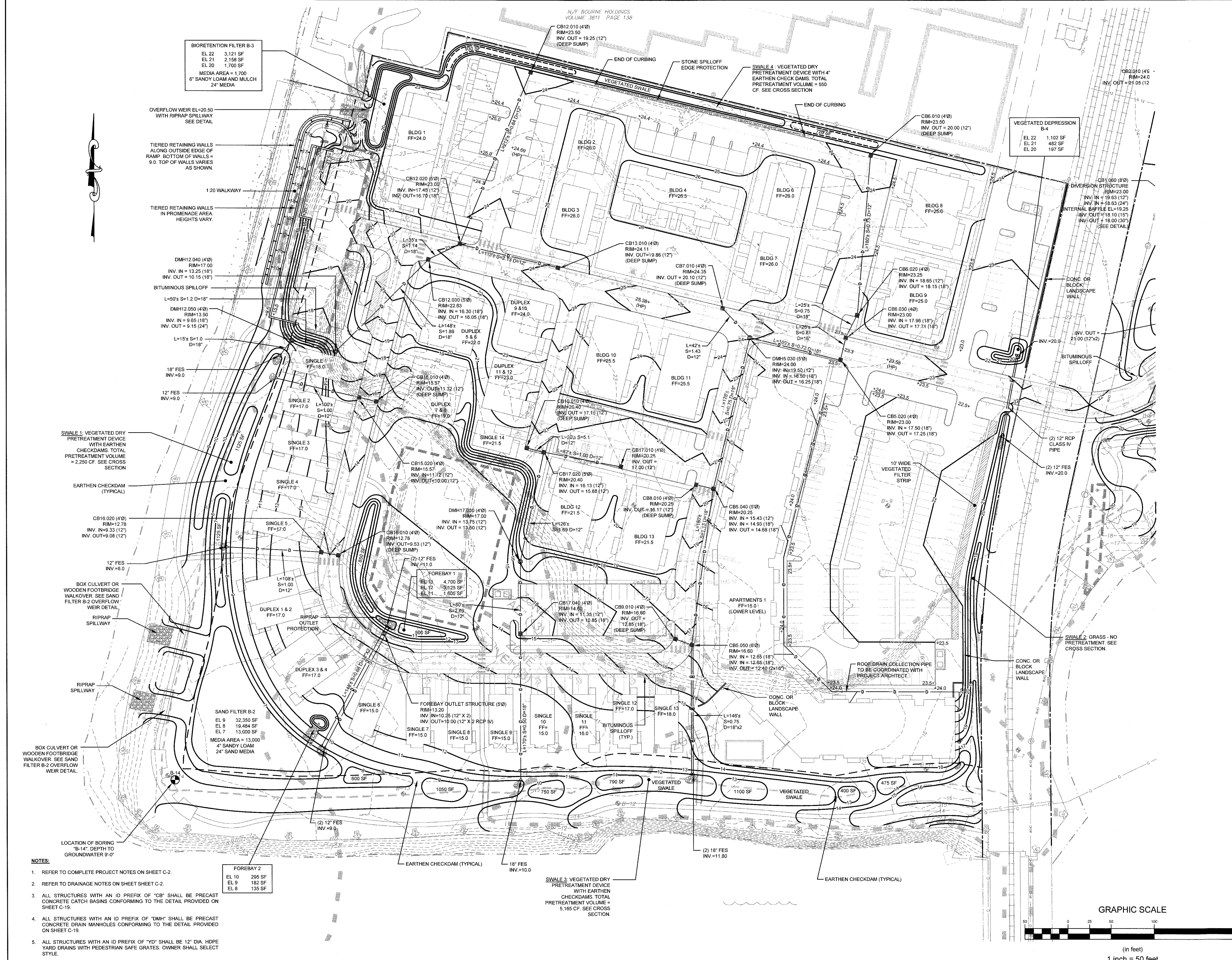
Client/Owner:
NOBLE DEVELOPMENT, LLC
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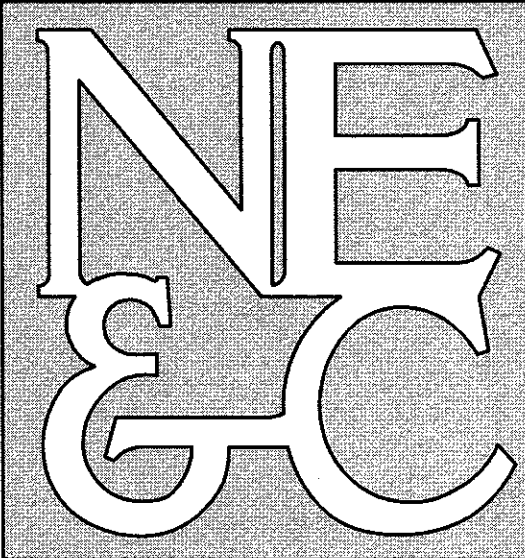
Drawing Title:
GRADING AND DRAINAGE
(COASTAL SIDE)

Drawing Number:	C-10
Sheet	10 of 22
Project Number:	20072.0
Survey Index:	

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- NOTES:**
- REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.
 - REFER TO DRAINAGE NOTES ON SHEET C-2.
 - ALL STRUCTURES WITH AN ID PREFIX OF "CB" SHALL BE PRECAST CONCRETE CATCH BASINS CONFORMING TO THE DETAIL PROVIDED ON SHEET C-19.
 - ALL STRUCTURES WITH AN ID PREFIX OF "DMH" SHALL BE PRECAST CONCRETE DRAIN MANHOLES CONFORMING TO THE DETAIL PROVIDED ON SHEET C-19.
 - ALL STRUCTURES WITH AN ID PREFIX OF "YD" SHALL BE 12" DIA. HDPE YARD DRAINS WITH PEDESTRIAN SAFE GRATES. OWNER SHALL SELECT STYLE.




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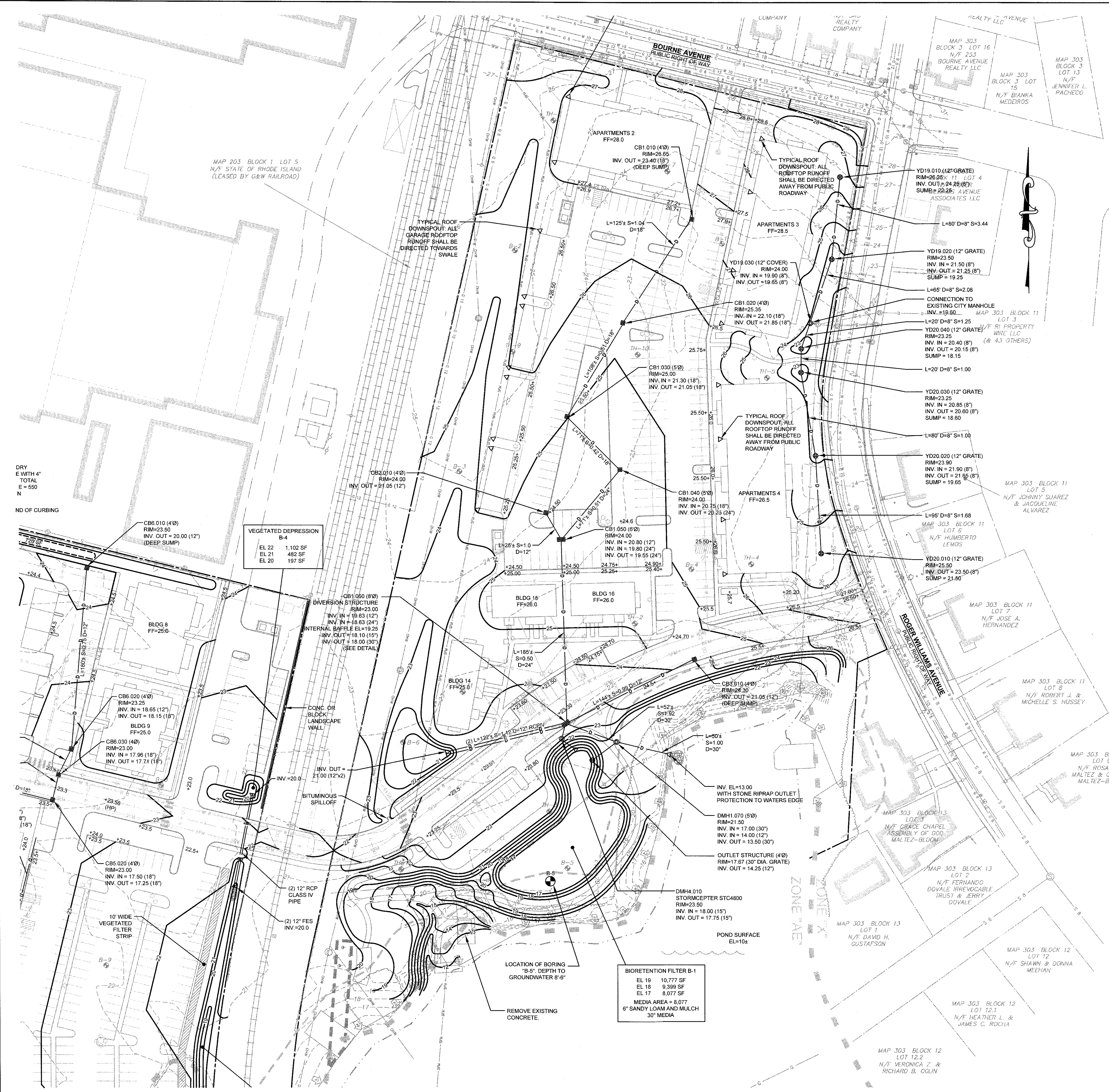
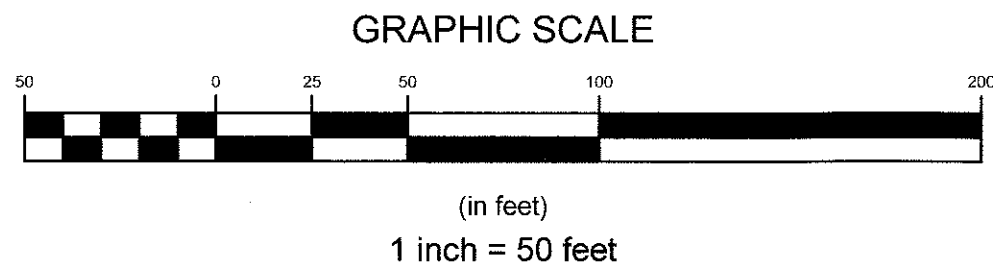
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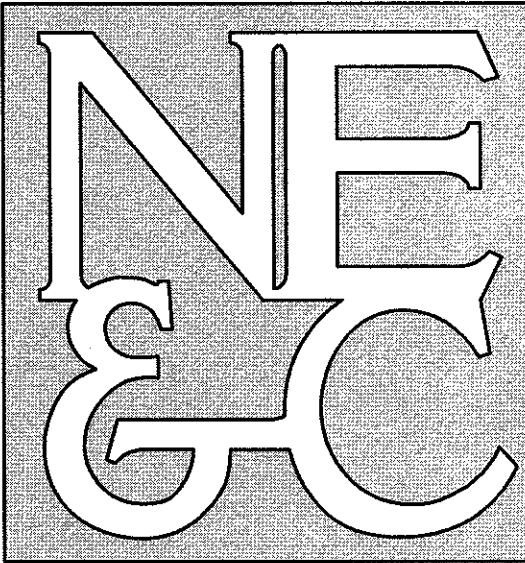
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ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL

LEGEND:	
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	ACCESS EASEMENT LINE
	FENCE LINE
	TOPOGRAPHIC CONTOUR
	SEWER MAIN (18")
	GAS MAIN (6")
	GAS MAIN (8")
	GAS MAIN (12")
	WATER MAIN (10")
	DRAIN LINE (10")
	OVERHEAD WIRES
	SEWER FORCE MAIN
	EDGE OF COASTAL FEATURE / WETLAND
	FEMA FLOOD LINE
	COASTAL FEATURE FLAG
	FRESHWATER WETLAND FLAG
	IRON ROD
	SURVEY NAIL
	CONCRETE BOUND
	FIRE HYDRANT
	DRAIN MANHOLE
	CATCH BASIN INLET
	SEWER MANHOLE
	PROPOSED 25' CONSTRUCTION SETBACK
	PROPOSED DRAIN LINE
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION

2	SUBMISSION REVISIONS		21JUN21	
1	SUBMISSION REVISIONS		21MAY21	
No.	Revision		Date	App.
Designed By: JJR		Drawn by: JJR	Checked by: GES	
Scale: 1"=50'		Date: 22APR21		
Project Title:				
<div>"EAST POINT"</div> <div>MAP 203 BLOCK 1 LOT 4</div> <div>MAP 303 BLOCK 13 LOTS 4 & 5</div> <div>ROGER WILLIAMS AVENUE</div> <div>EAST PROVIDENCE</div> <div>RHODE ISLAND</div>				
Client/Owner:				
<div>NOBLE DEVELOPMENT, LLC</div> <div>10 GREEN STREET</div> <div>PROVIDENCE, RI 02903</div>				
Issued for:				
PERMITTING				
Drawing Title:				
<div>GRADING AND DRAINAGE</div> <div>(POND SIDE)</div>				
Drawing Number:			C-11	
Sheet			11	of 22
Project Number:			20072.0	
Survey Index:				
<div><div><div>JEREMY J. ROSA</div><div></div><div>No. 9826</div><div>REGISTERED PROFESSIONAL ENGINEER CIVIL</div></div></div>				
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- NOTES:
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 - REFER TO DRAINAGE NOTES ON SHEET SHEET C-2.
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 - ALL STRUCTURES WITH AN ID PREFIX OF "YD" SHALL BE 12" DIA. HDPE YARD DRAINS WITH PEDESTRIAN SAFE GRATES. OWNER SHALL SELECT STYLE.





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STRUCTURAL

LEGEND:

---	PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	ACCESS EASEMENT LINE
---	FENCE LINE
---	TOPOGRAPHIC CONTOUR
---	SEWER MAIN (18")
---	SEWER MAIN (DIA. UNIDENTIFIED)
---	GAS MAIN (6")
---	GAS MAIN (8")
---	GAS MAIN (12")
---	GAS MAIN (DIA. UNIDENTIFIED)
---	WATER MAIN (10")
---	DRAIN LINE (DIA. UNIDENTIFIED)
---	OVERHEAD WIRES
---	SEWER FORCE MAIN
---	EDGE OF COASTAL FEATURE / WETLAND
---	50' SETBACK FROM COASTAL FEATURE / WETLAND
---	COASTAL FEATURE FLAG
---	FRESHWATER WETLAND FLAG
---	IRON ROD
---	SURVEY NAIL
---	CONCRETE BOUND
---	FIRE HYDRANT
---	DRAIN MANHOLE
---	CATCH BASIN INLET
---	SEWER MANHOLE
---	PROPOSED CATCH BASIN
---	PROPOSED DRAIN MANHOLE
---	PROPOSED 8" WATER MAIN
---	PROPOSED 8" SEWER MAIN
---	PROPOSED SEWER FORCE MAIN
---	PROPOSED US ELECTRICAL CONDUIT
---	PROPOSED CONSTRUCTION GRADING
---	PROPOSED EROSION CONTROL BARRIER
---	PROPOSED STRAW BALE ROW
---	PROPOSED CONSTRUCTION FENCING

2	SUBMISSION REVISIONS	21JUN21	
1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Scale:	1"=50'	Date:	22APR21
Checked by:	GES		

Project Title:
"EAST POINT"
MAP 203 BLOCK 1 LOT 4
MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

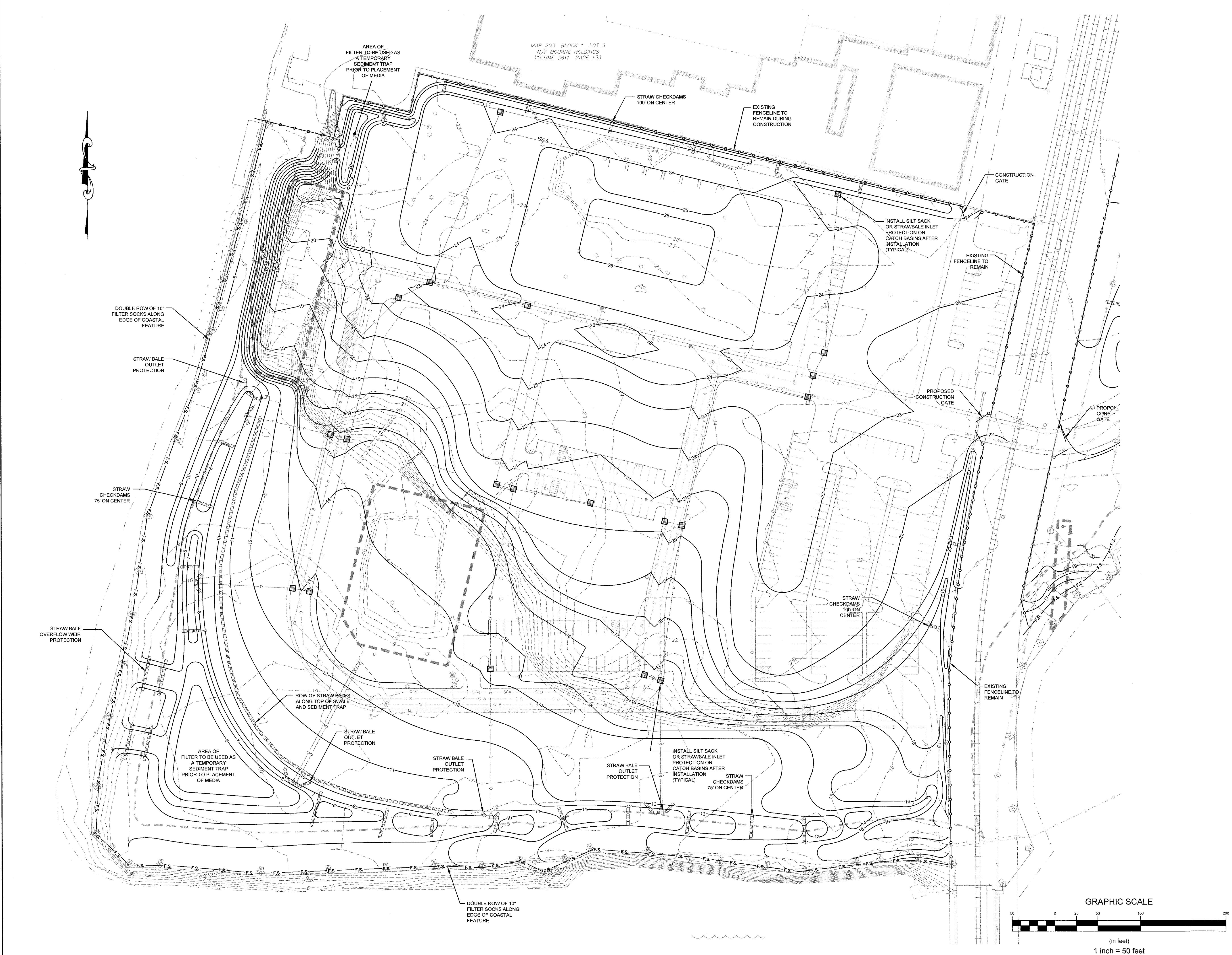
Client/Owner:
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PROVIDENCE, RI 02903

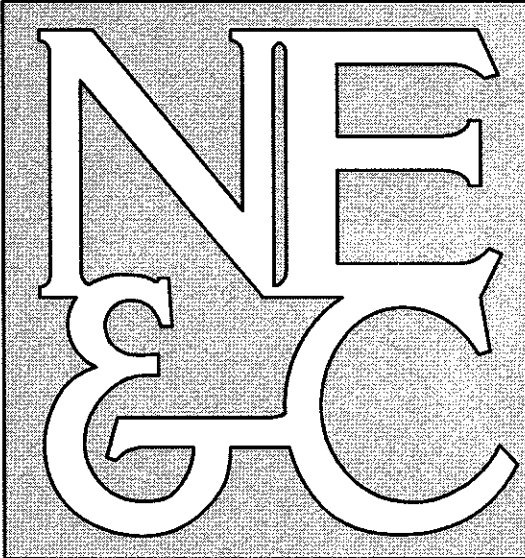
Issued for:
PERMITTING

Drawing Title:
SOIL EROSION AND
SEDIMENT CONTROL
(SHOWING CONSTRUCTION GRADING)

Drawing Number: C-12
Sheet 12 of 22
Project Number: 20072.0
Survey Index:

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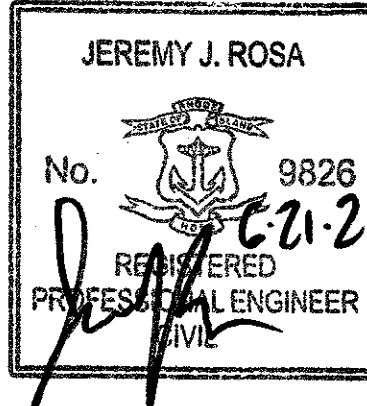
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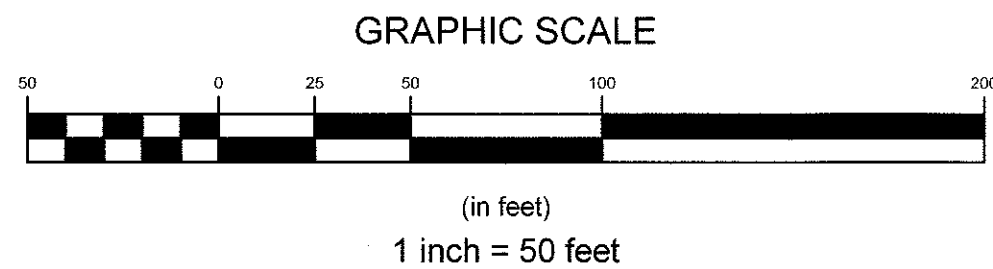
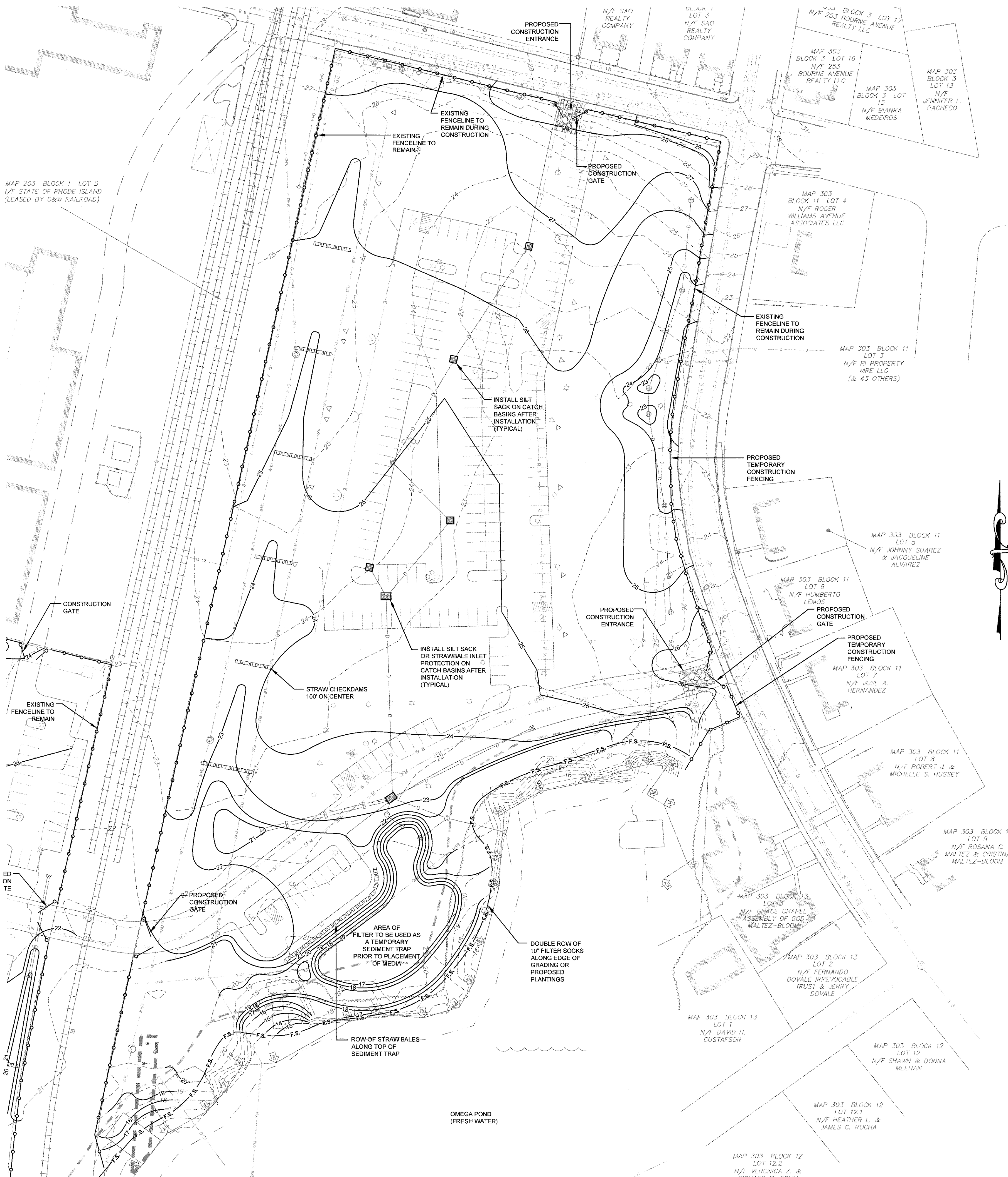
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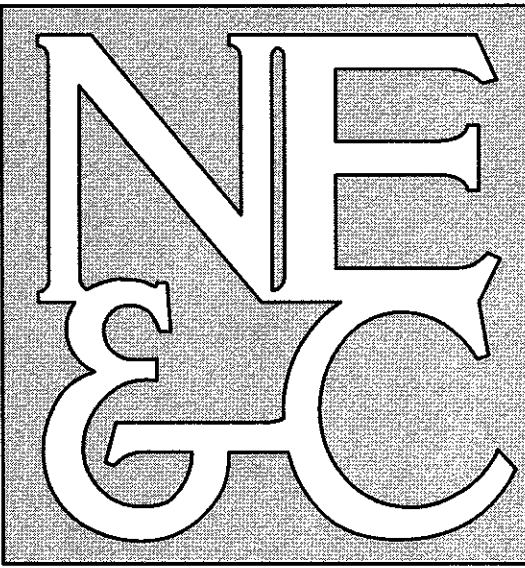
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LEGEND:

---	PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	ACCESS EASEMENT LINE
---	FENCE LINE
---	TOPOGRAPHIC CONTOUR
---	SEWER MAIN (18")
---	SEWER MAIN (DIA. UNIDENTIFIED)
---	GAS MAIN (8")
---	GAS MAIN (12")
---	GAS MAIN (DIA. UNIDENTIFIED)
---	WATER MAIN (10")
---	DRAIN LINE (DIA. UNIDENTIFIED)
---	OVERHEAD WIRES
---	SEWER FORCE MAIN
---	EDGE OF COASTAL FEATURE / WETLAND
---	50' SETBACK FROM COASTAL FEATURE / WETLAND
---	COASTAL FEATURE FLAG
---	FRESHWATER WETLAND FLAG
---	IRON ROD
---	SURVEY NAIL
---	CONCRETE BOUND
---	FIRE HYDRANT
---	DRAIN MANHOLE
---	CATCH BASIN INLET
---	SEWER MANHOLE
---	PROPOSED CATCH BASIN
---	PROPOSED DRAIN MANHOLE
---	PROPOSED 8" WATER MAIN
---	PROPOSED 8" SEWER MAIN
---	PROPOSED SEWER FORCE MAIN
---	PROPOSED US ELECTRICAL CONDUIT
---	PROPOSED CONSTRUCTION GRADING
---	PROPOSED EROSION CONTROL BARRIER
---	PROPOSED STRAW BALE ROW
---	PROPOSED CONSTRUCTION FENCING

2	SUBMISSION REVISIONS		21JUN21	
1	SUBMISSION REVISIONS		21MAY21	
No.	Revision		Date	App.
Designed By:	JJR	Drawn by:	JJR	Checked by: GES
Scale:	1"=50'		Date:	22APR21
Project Title:				
"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND				
Client/Owner:				
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903				
Issued for:				
PERMITTING				
Drawing Title:				
SOIL EROSION AND SEDIMENT CONTROL (SHOWING CONSTRUCTION GRADING)				
		Drawing Number:		
		C-13		
		Sheet	13	of 22
		Project Number:	20072.0	
		Survey Index:	— —	
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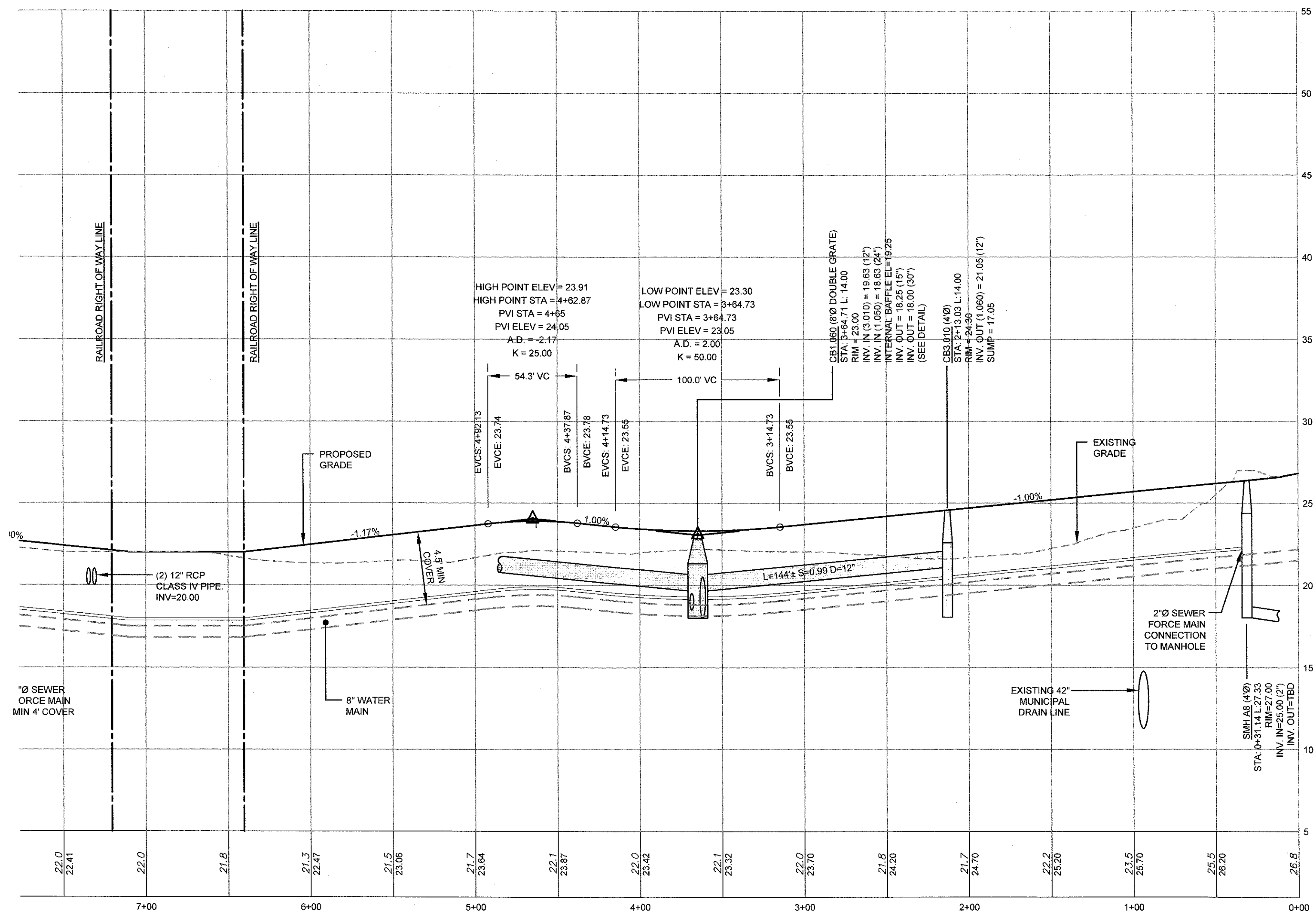




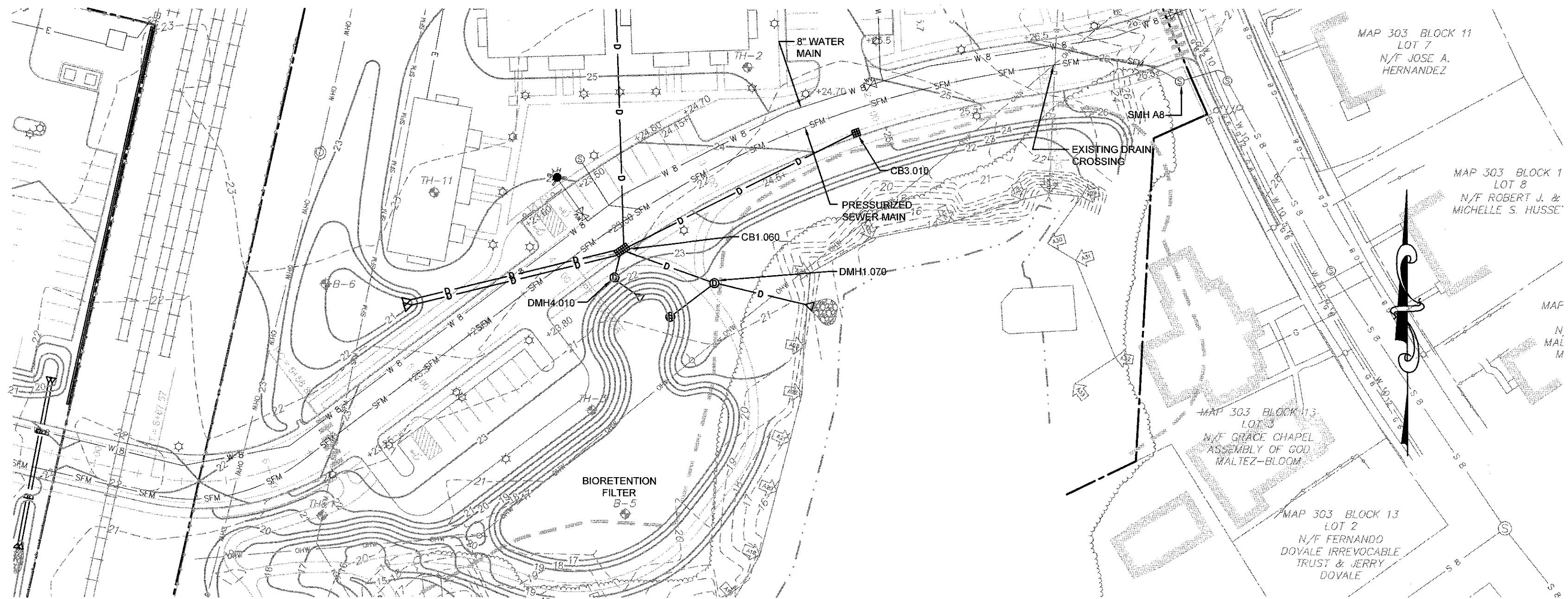
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MAIN ACCESS ROAD 1 PROFILE (POND SIDE)
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



MAIN ACCESS ROAD 1 PLAN (POND SIDE)
SCALE: 1" = 50'

NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

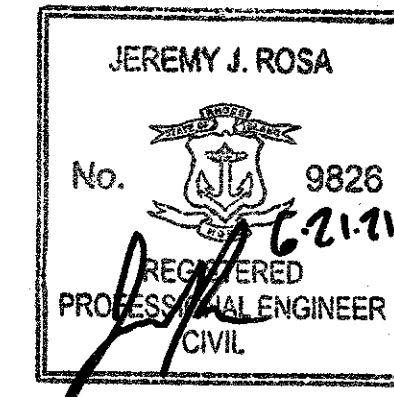
2	SUBMISSION REVISIONS	21JUN21	
1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Checked by:	GES		
Scale:	1"=50'	Date:	22APR21

Project Title:
"EAST POINT"
MAP 203 BLOCK 1 LOT 4
MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

Client/Owner:
NOBLE DEVELOPMENT, LLC
10 GREEN STREET
PROVIDENCE, RI 02903

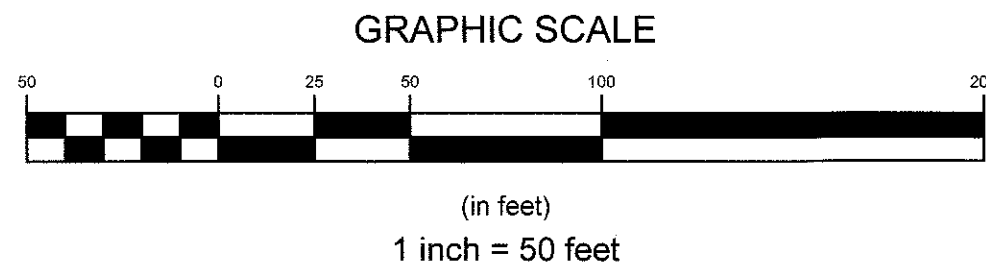
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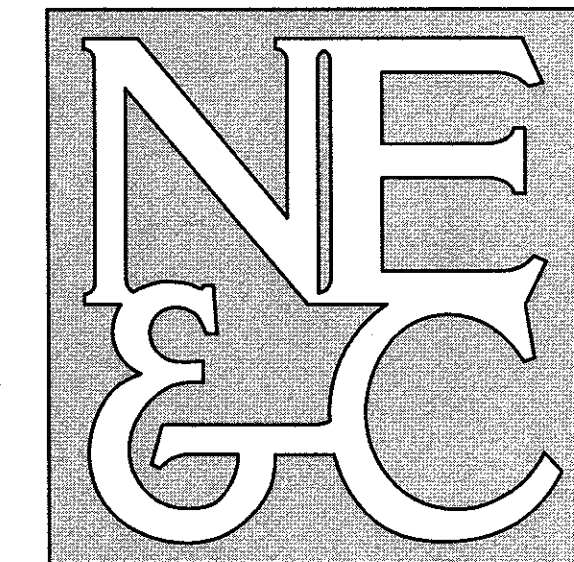
Drawing Title:
ROAD PROFILE
SHEET 1
(MAIN ACCESS ROAD POND SIDE)



Drawing Number:
C-14
Sheet **14** of **22**
Project Number:
20072.0
Survey Index:

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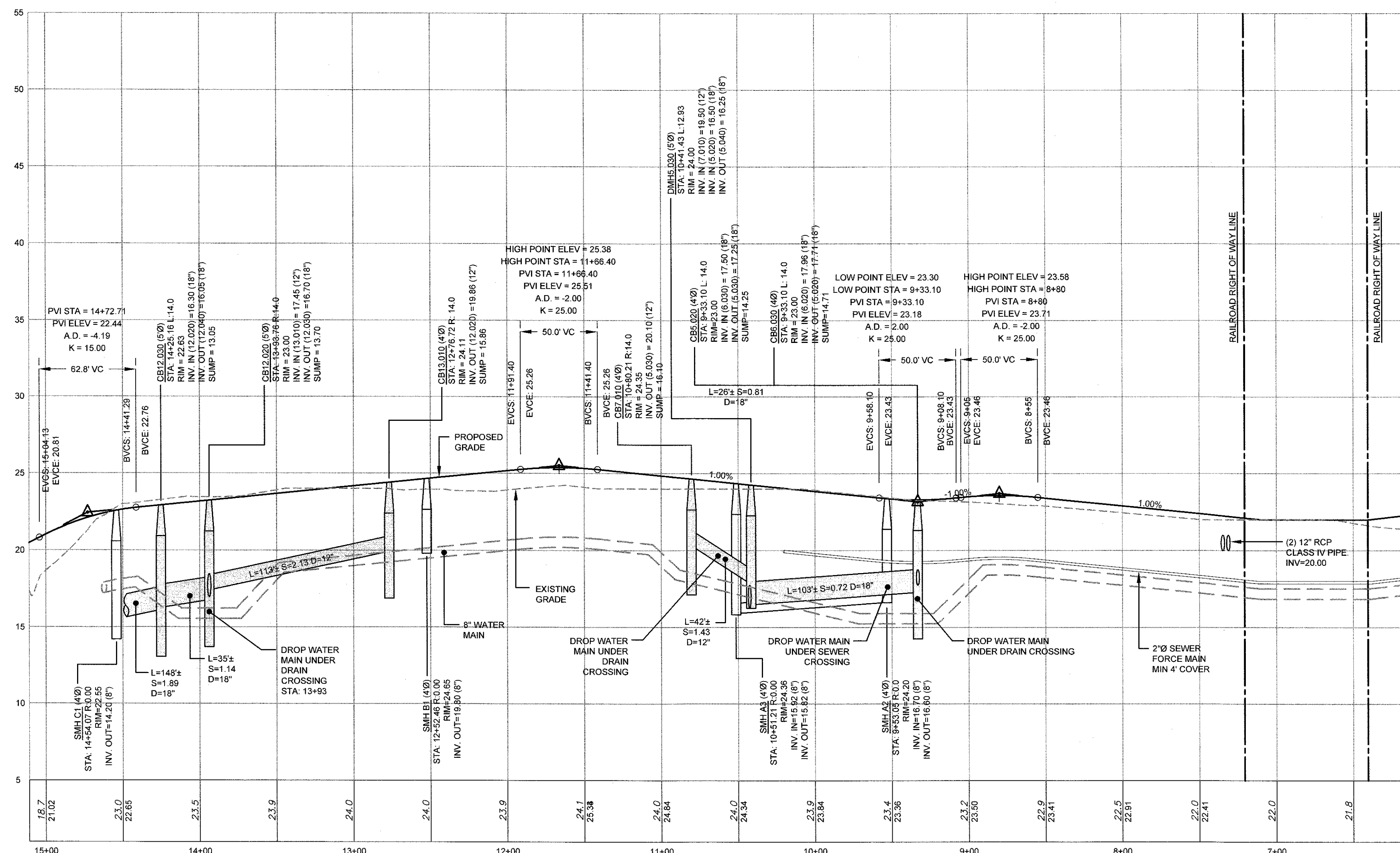




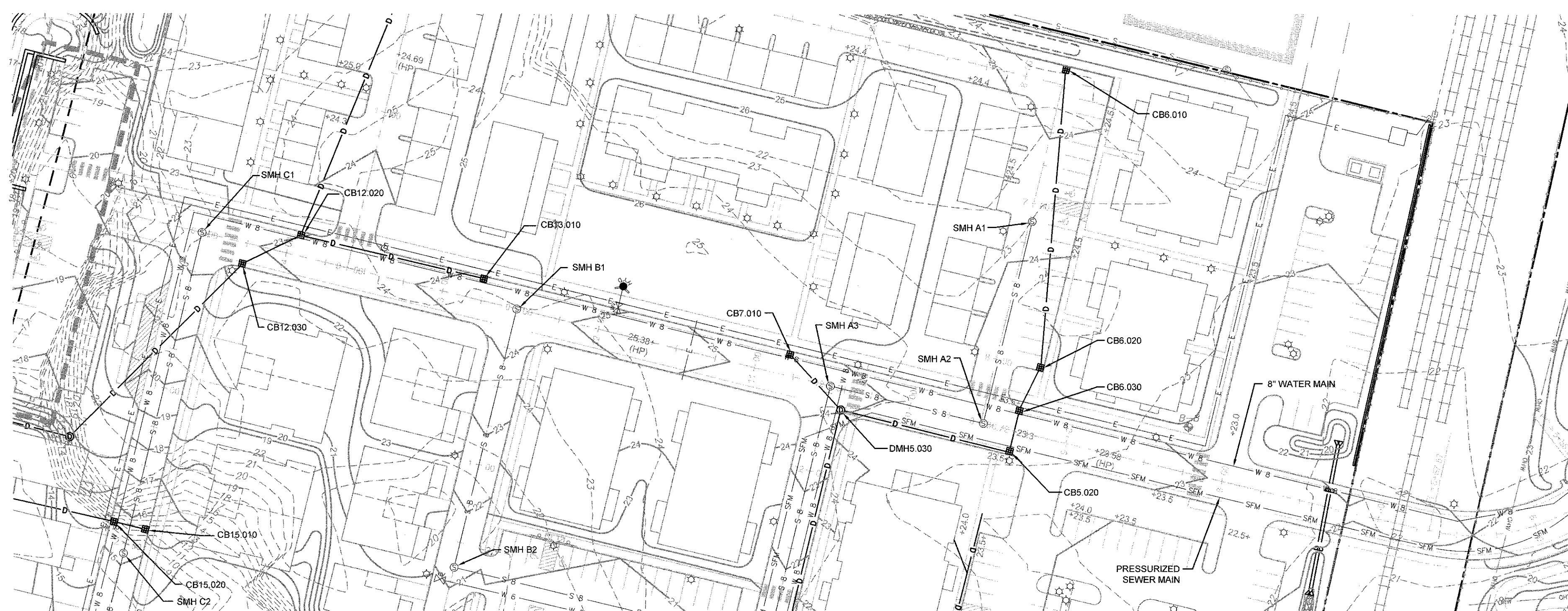
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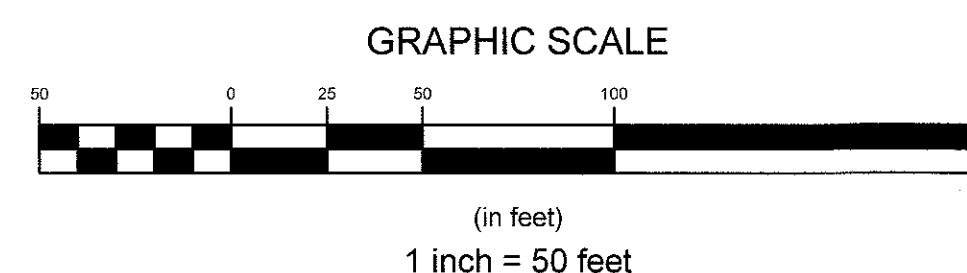
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TRANSPORTATION
STRUCTURAL



MAIN ACCESS ROAD 1 PROFILE (COASTAL SIDE)
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



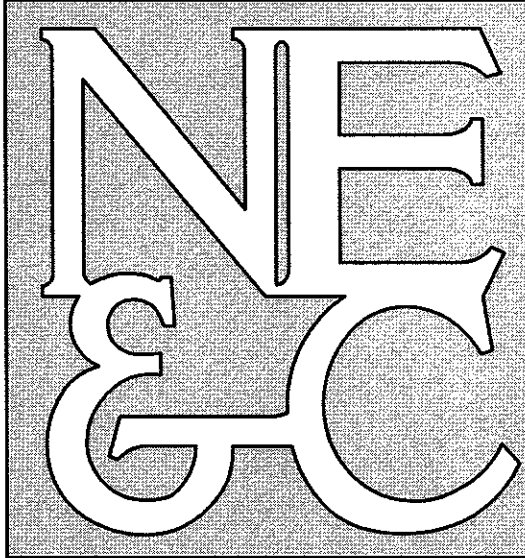
MAIN ACCESS ROAD 1 PLAN (COASTAL SIDE)
SCALE: 1" = 50'



NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

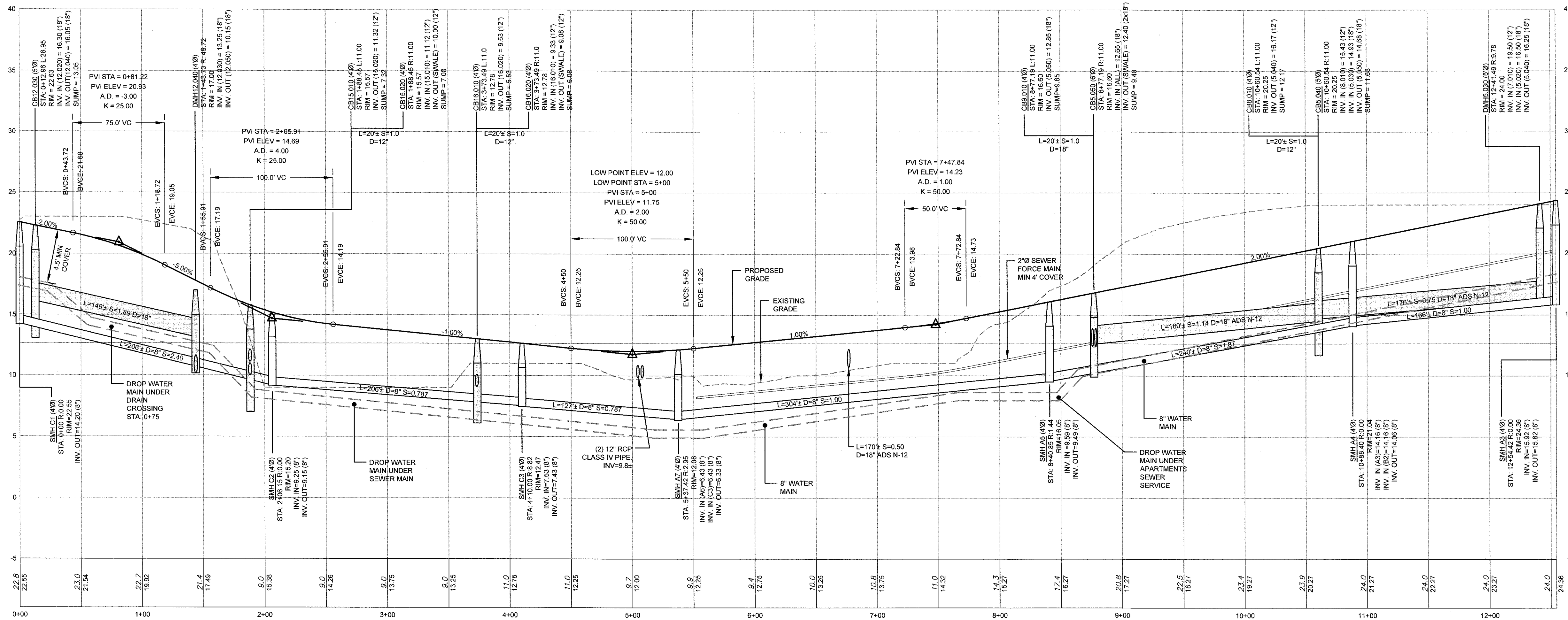
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Scale: 1"=50'	Date: 22APR21		
Project Title:			
"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND			
Client/Owner:			
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903			
Issued for:			
PERMITTING			
Drawing Title:			
ROAD PROFILE SHEET 2 (MAIN ACCESS ROAD COASTAL SIDE)			
Drawing Number:			
C-15			
Sheet 15 of 22			
Project Number:			
20072.0			
Survey Index:			
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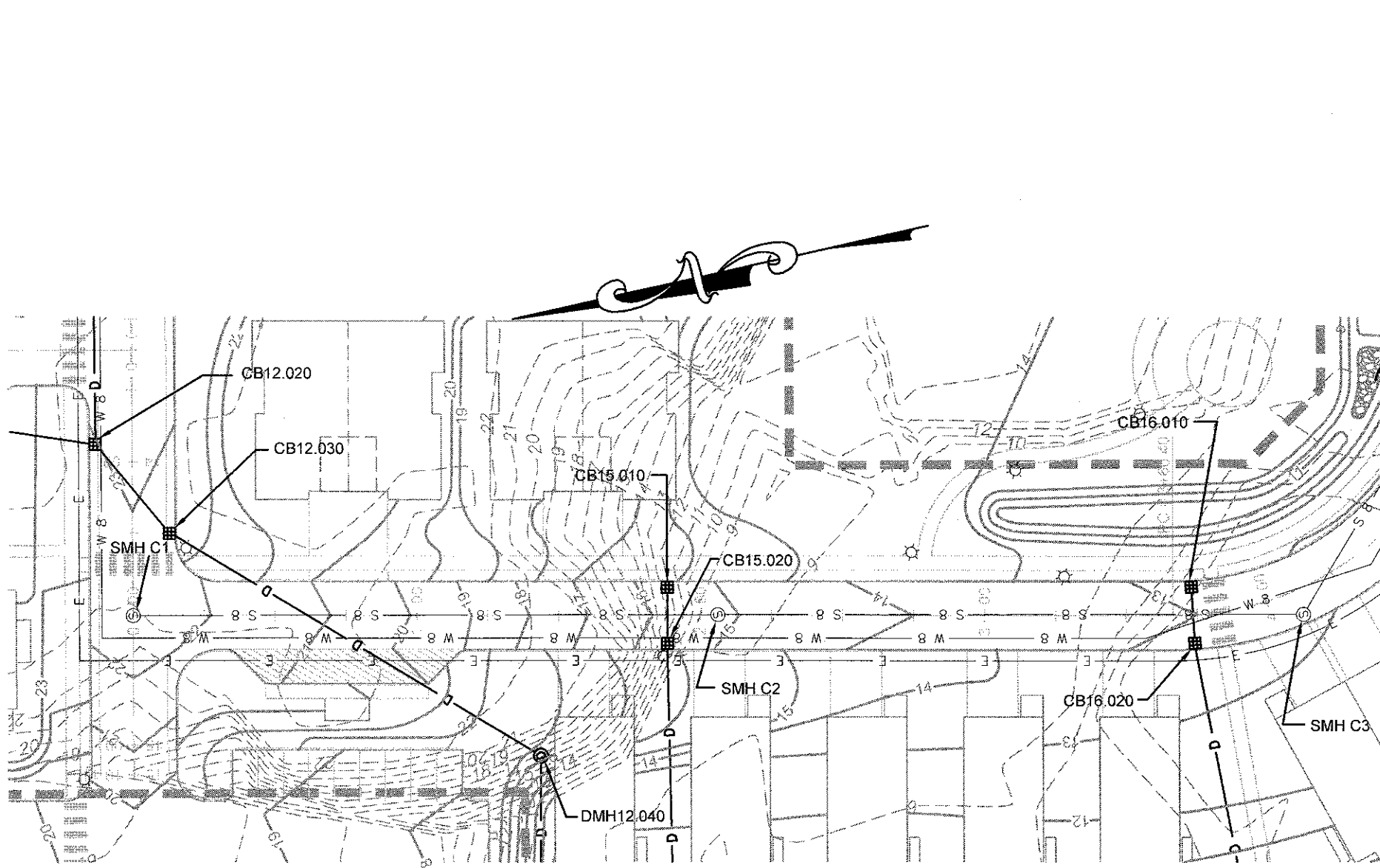
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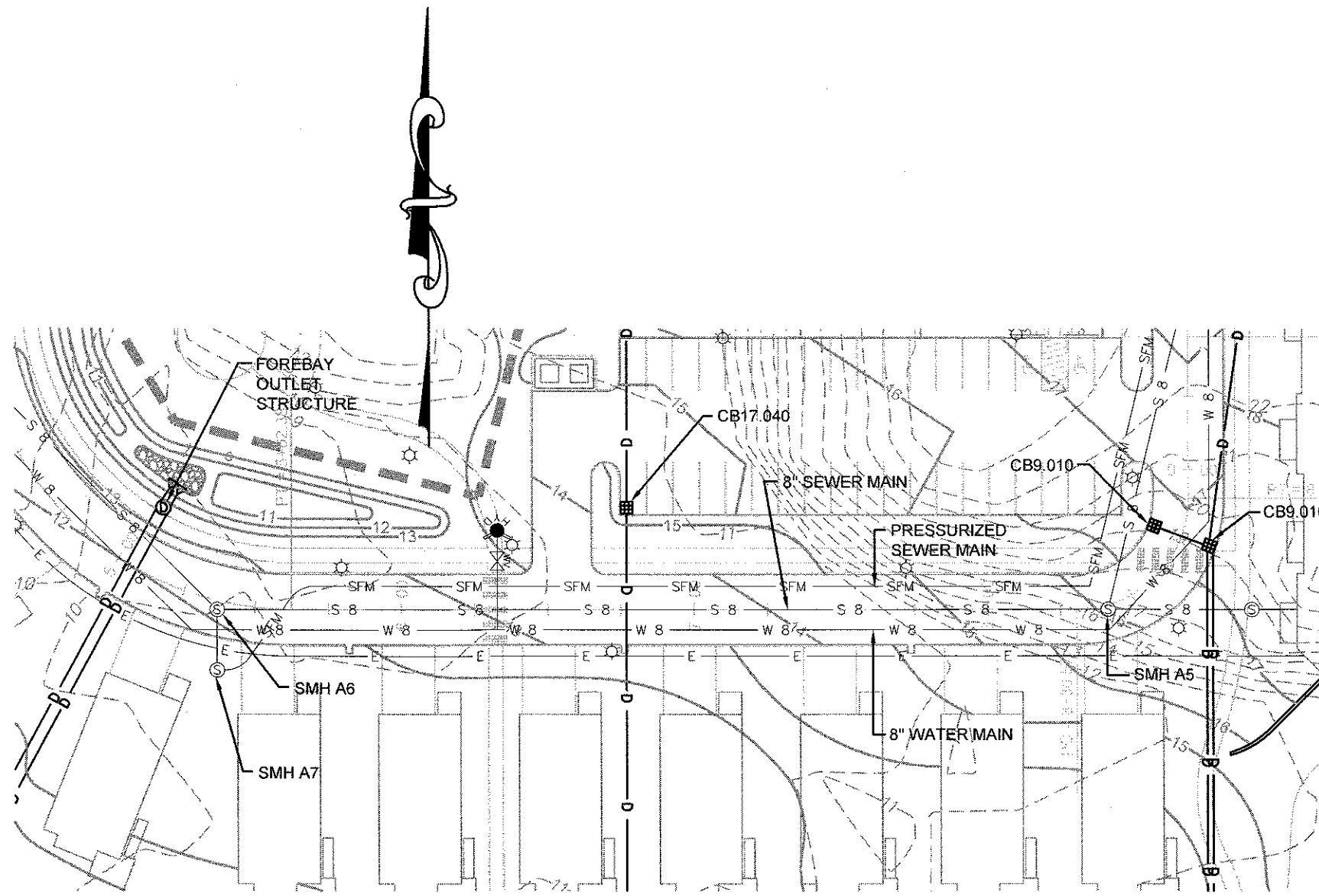
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ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL



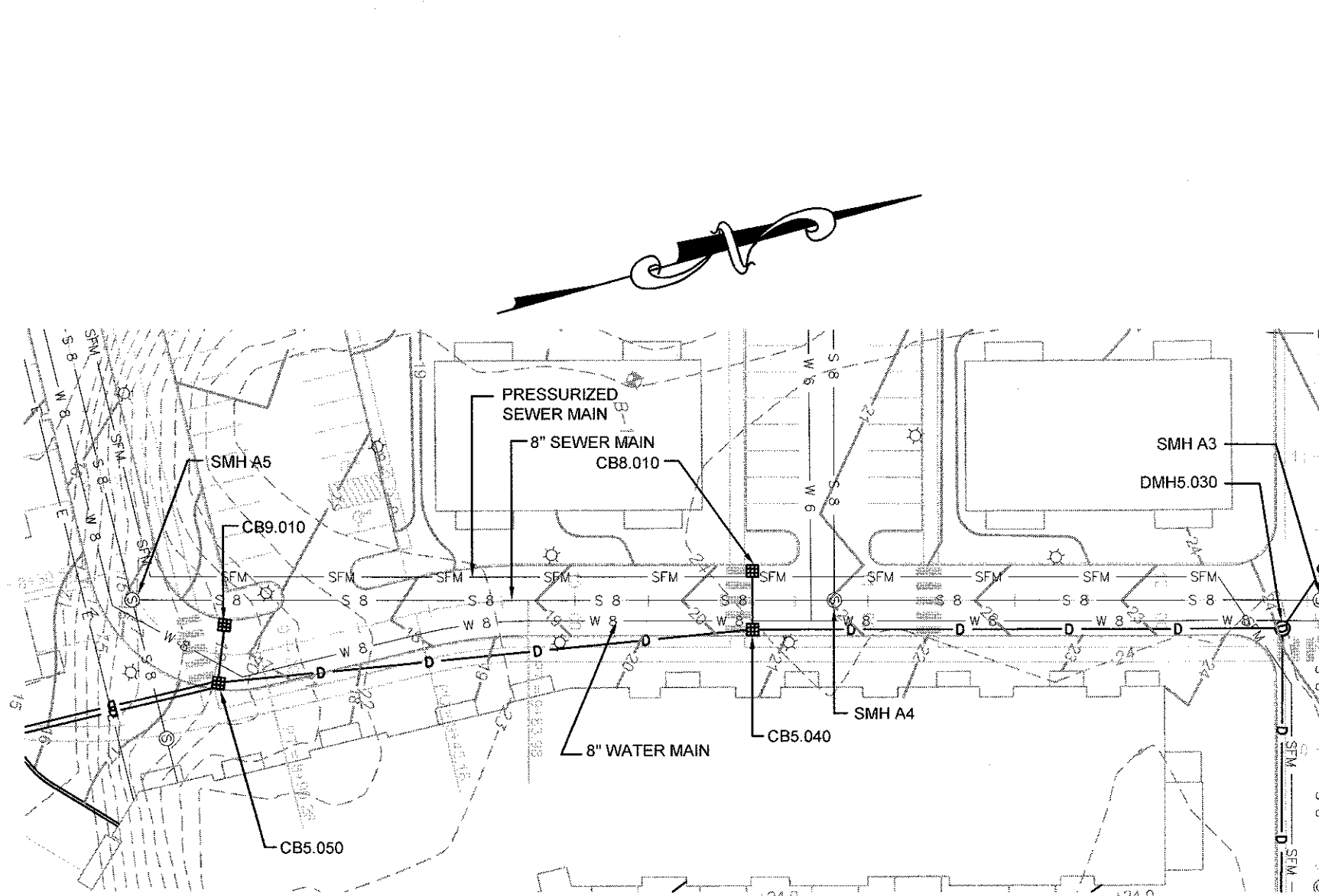
RESIDENTIAL ACCESS ROAD 2 PROFILE
HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



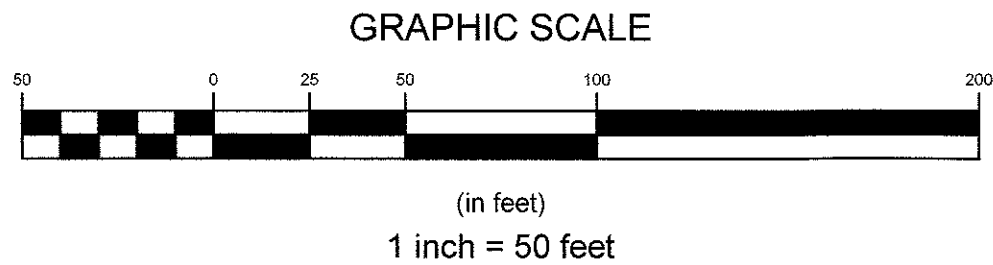
RESIDENTIAL ACCESS ROAD 2 PLAN (SECTION 1)
SCALE: 1" = 50'



RESIDENTIAL ACCESS ROAD 2 PLAN (SECTION 2)
SCALE: 1" = 50'

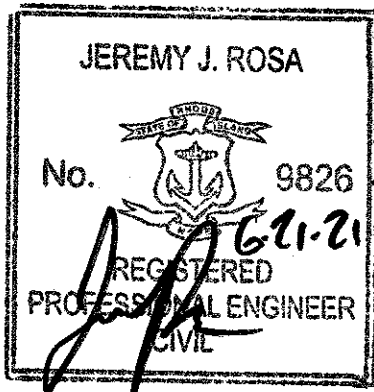


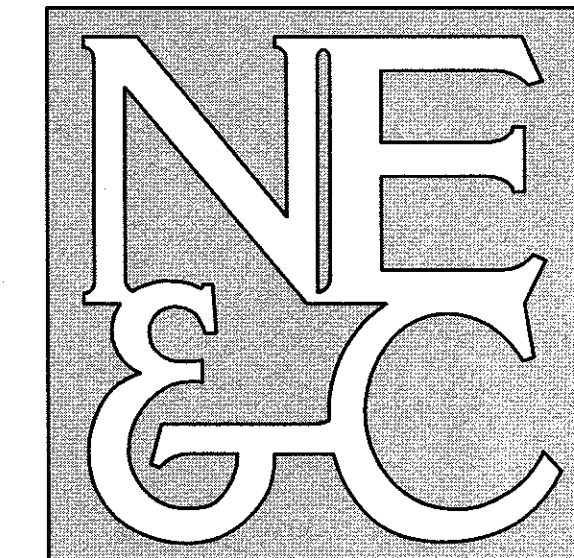
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SCALE: 1" = 50'



NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

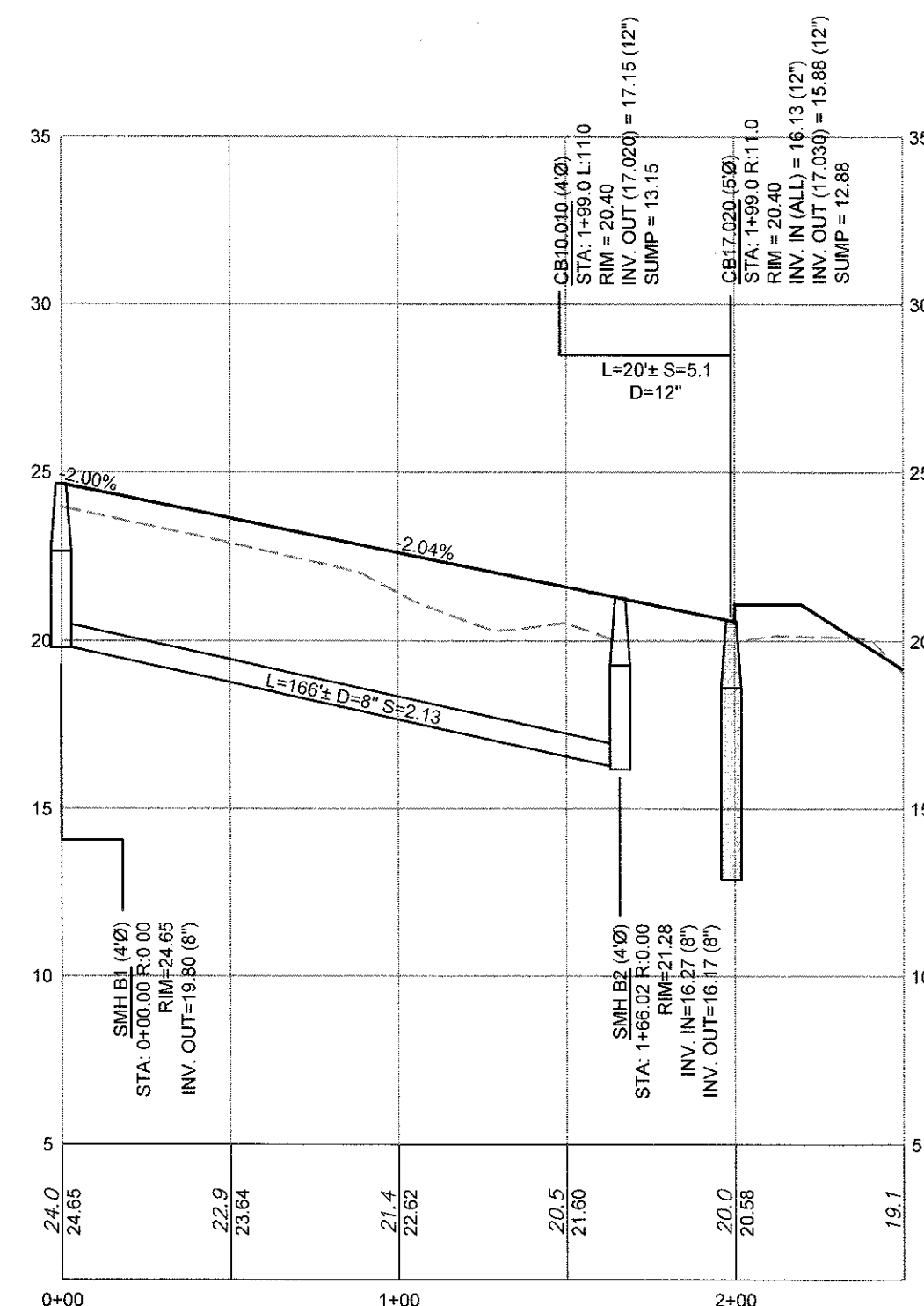
2	SUBMISSION REVISIONS		21JUN21	
1	SUBMISSION REVISIONS		21MAY21	
No.	Revision		Date	App.
Designed By:	JJR	Drawn by:	JJR	Checked by: GES
Scale:	1"=50'		Date:	22APR21
Project Title:				
"EAST POINT"				
MAP 203 BLOCK 1 LOT 4				
MAP 303 BLOCK 13 LOTS 4 & 5				
ROGER WILLIAMS AVENUE				
EAST PROVIDENCE				
RHODE ISLAND				
Client/Owner:				
NOBLE DEVELOPMENT, LLC				
10 GREEN STREET				
PROVIDENCE, RI 02903				
Issued for:				
PERMITTING				
Drawing Title:				
ROAD PROFILE				
SHEET 3				
(RESIDENTIAL ACCESS ROAD 2)				
		Drawing Number:		
		C-16		
		Sheet 16 of 22		
		Project Number:		
		20072.0		
		Survey Index:		
		— —		
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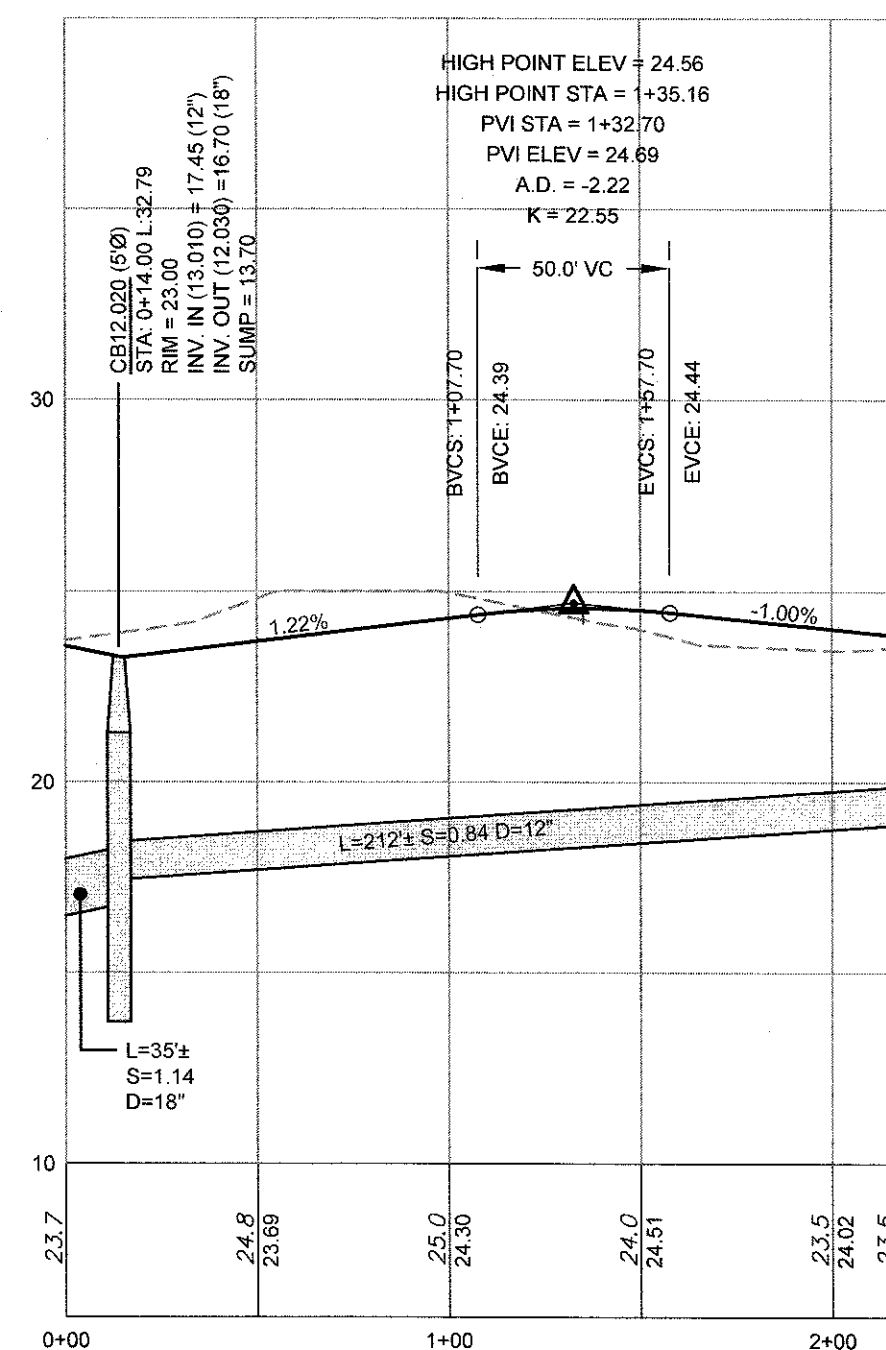
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STRUCTURAL



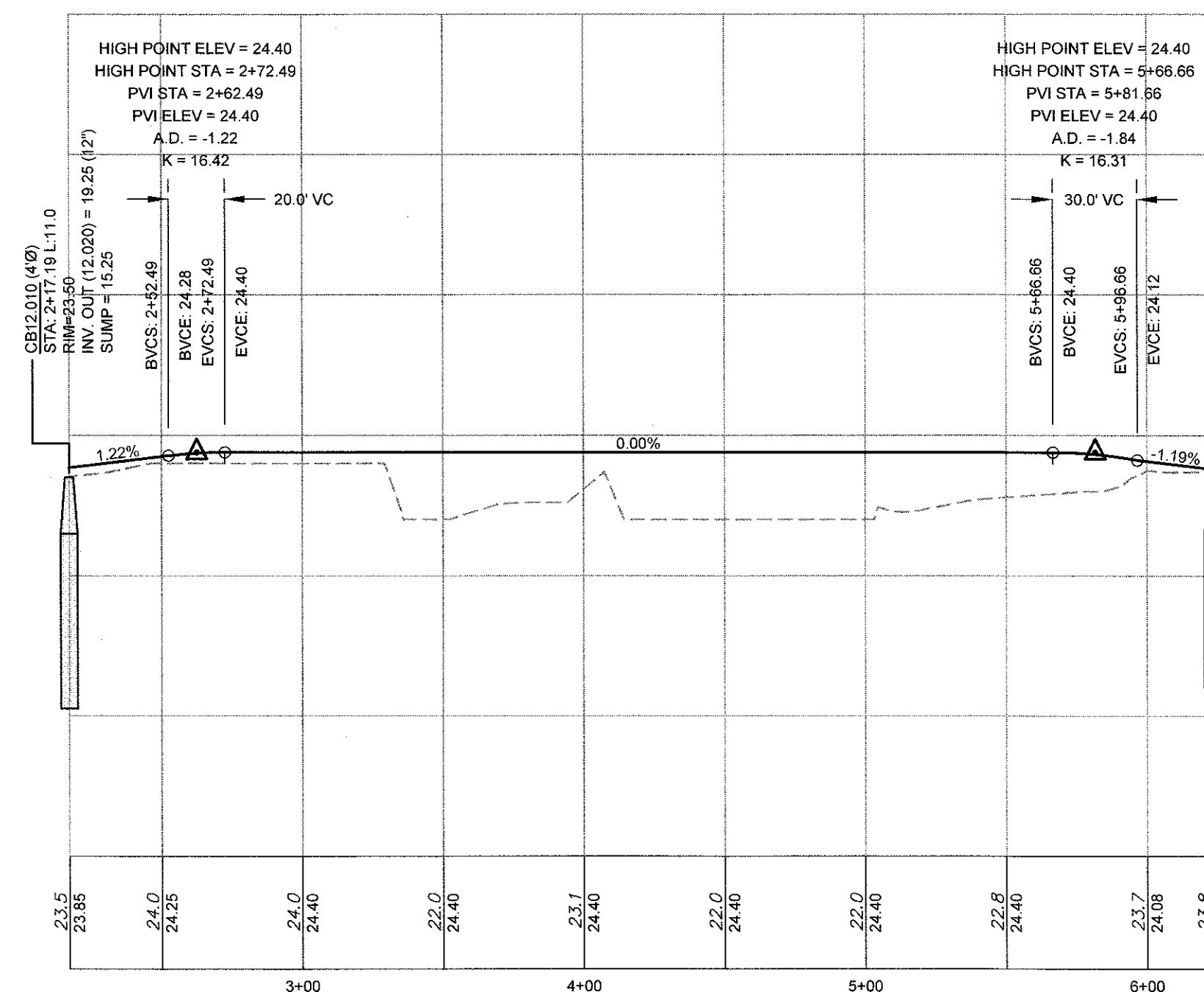
RESIDENTIAL ACCESS ROAD 3 PROFILE

HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



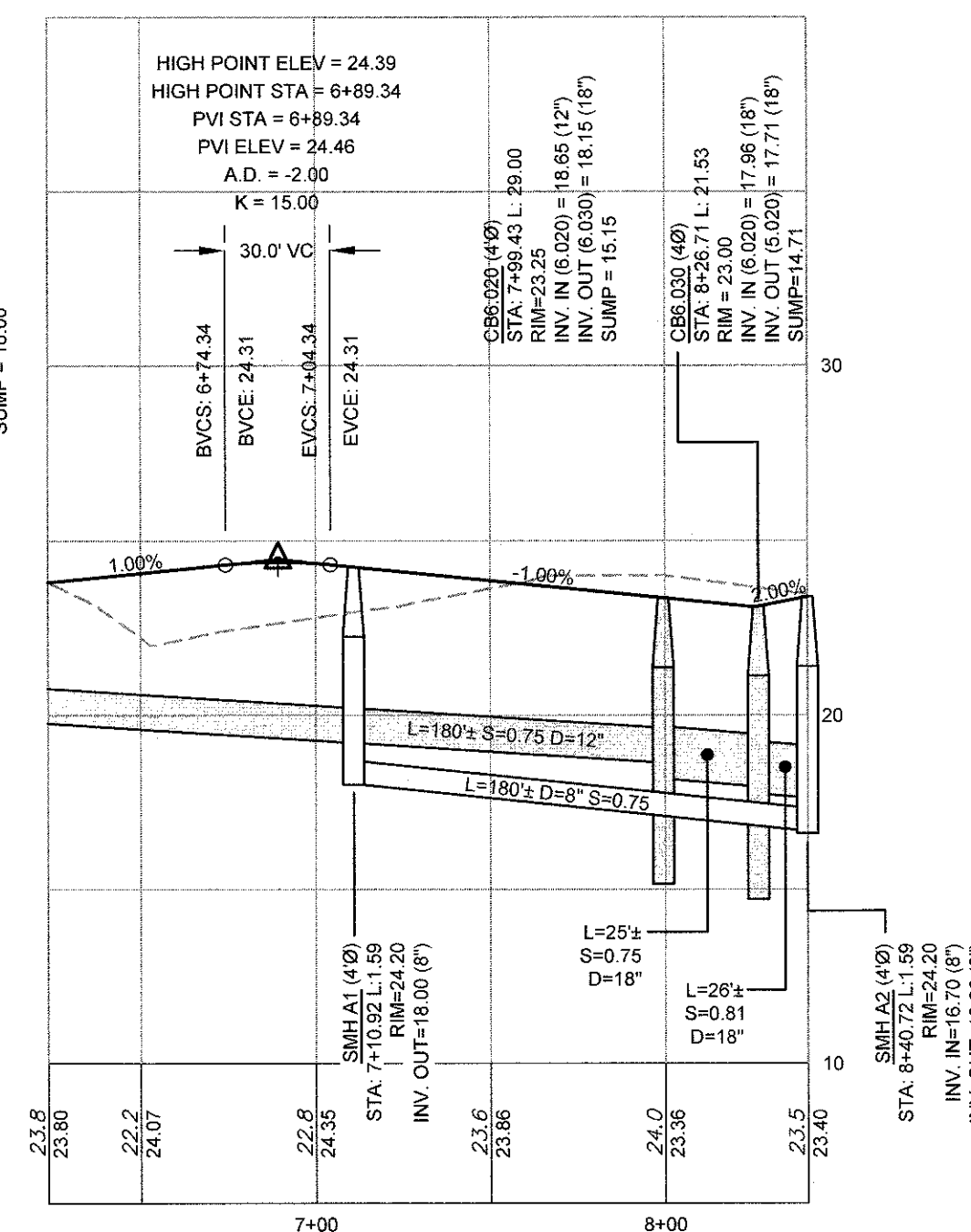
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HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



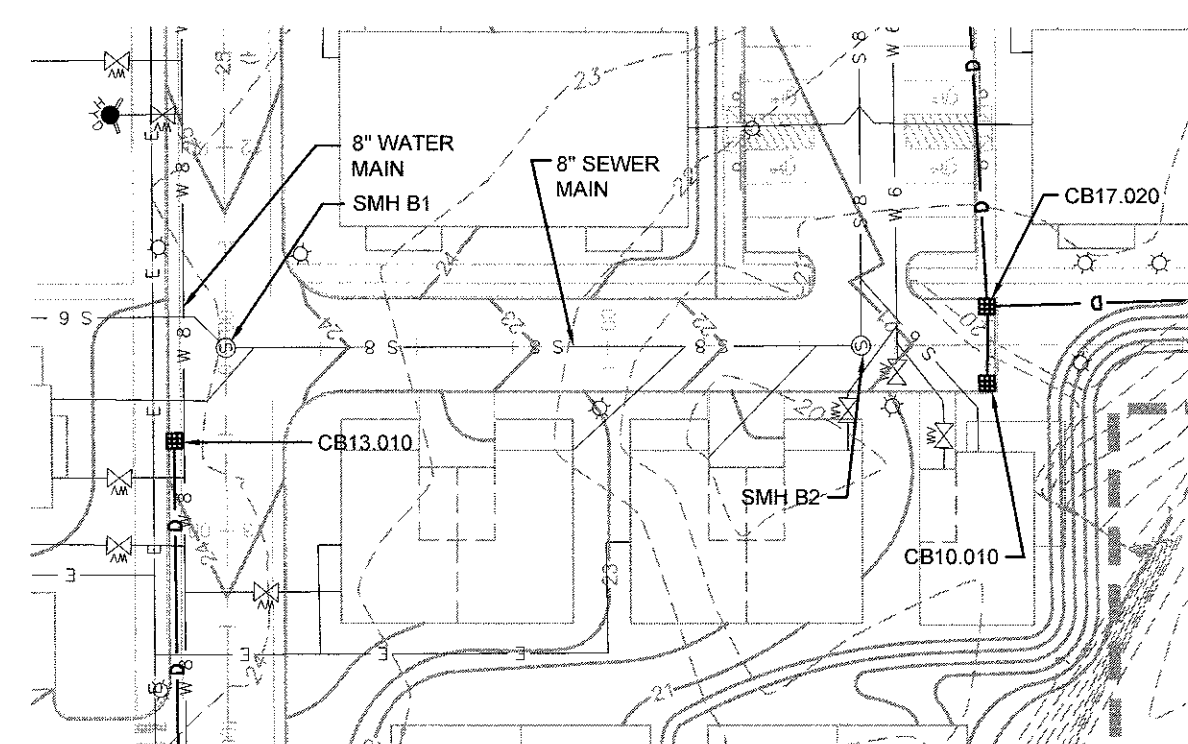
RESIDENTIAL ACCESS ROAD 4 (SEC 2) PROFILE

HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



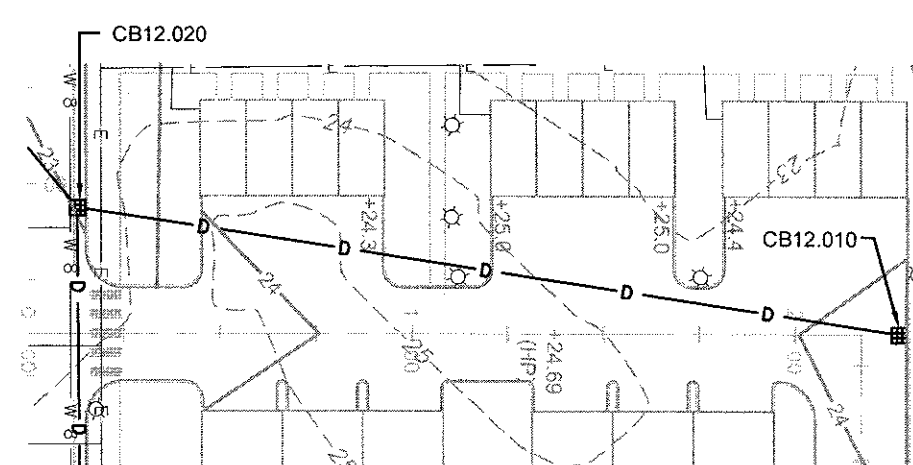
RESIDENTIAL ACCESS ROAD 4 (SEC 3) PROFILE

HORIZONTAL SCALE: 1" = 50'
VERTICAL SCALE: 1" = 5'



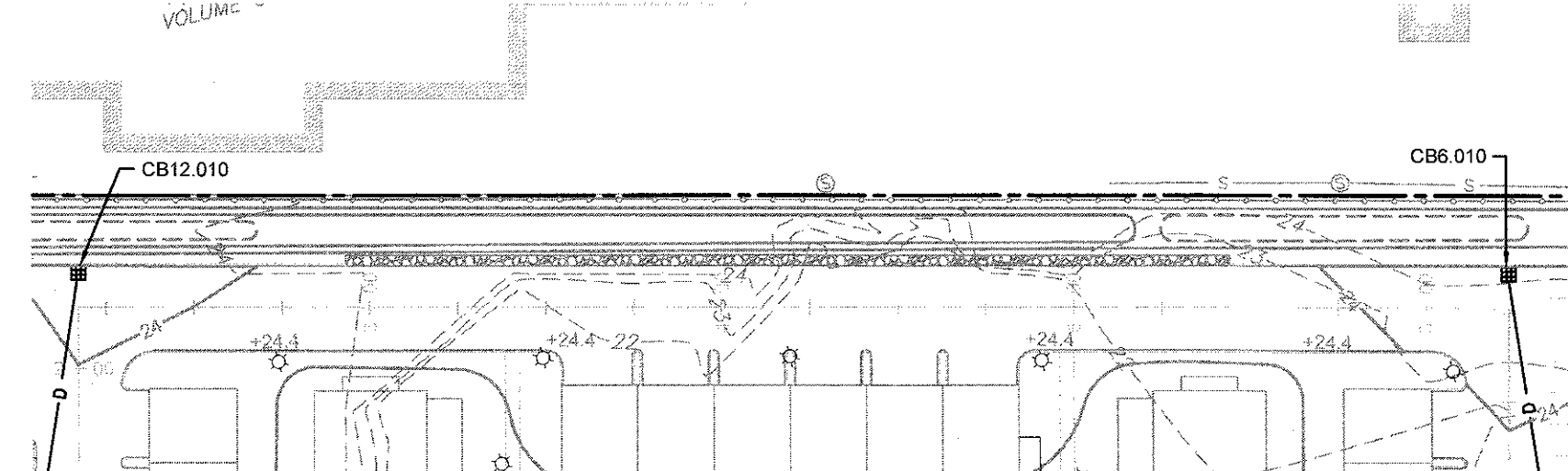
RESIDENTIAL ACCESS ROAD 3 PLAN

SCALE: 1" = 50'



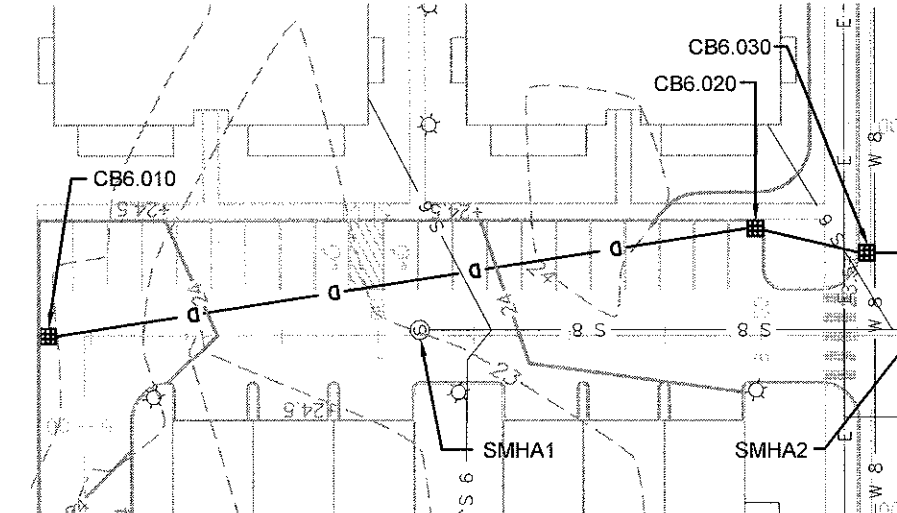
RESIDENTIAL ACCESS ROAD 4 (SEC 1) PLAN

(PRIVATE)
SCALE: 1" = 50'



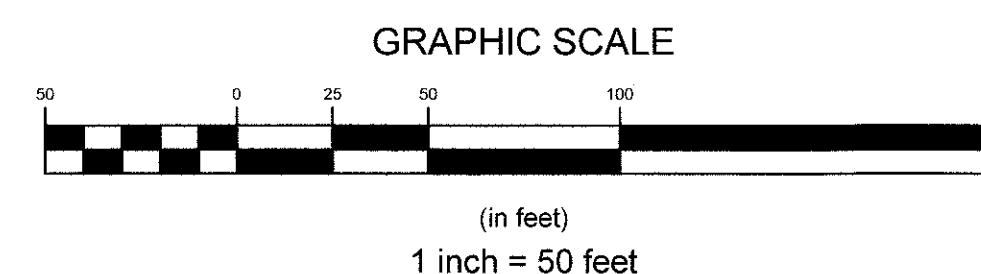
RESIDENTIAL ACCESS ROAD 4 (SEC 2) PLAN

(PRIVATE)
SCALE: 1" = 50'



RESIDENTIAL ACCESS ROAD 4 (SEC 3) PLAN

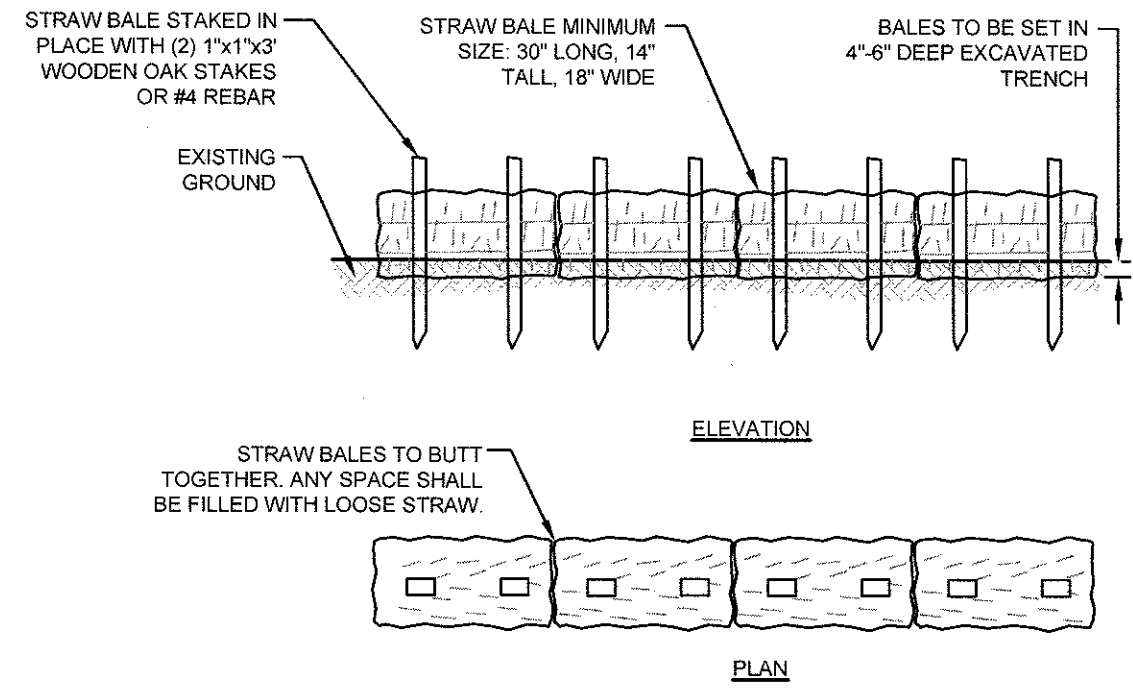
(PRIVATE)
SCALE: 1" = 50'



NOTES:

1. REFER TO COMPLETE PROJECT NOTES ON SHEET C-2.

2	SUBMISSION REVISIONS	21JUN21	
1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed By: JJR	Drawn by: JJR	Checked by: GES	
Scale: 1"=50'	Date: 22APR21		
Project Title:			
"EAST POINT"			
MAP 203 BLOCK 1 LOT 4			
MAP 303 BLOCK 13 LOTS 4 & 5			
ROGER WILLIAMS AVENUE			
EAST PROVIDENCE			
RHODE ISLAND			
Client/Owner:			
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Issued for:			
PERMITTING			
Drawing Title:			
ROAD PROFILE			
SHEET 4			
(RESIDENTIAL ACCESS ROADS 3 & 4)			
Drawing Number:			
C-17			
Sheet 17 of 22			
Project Number:			
20072.0			
Survey Index:			
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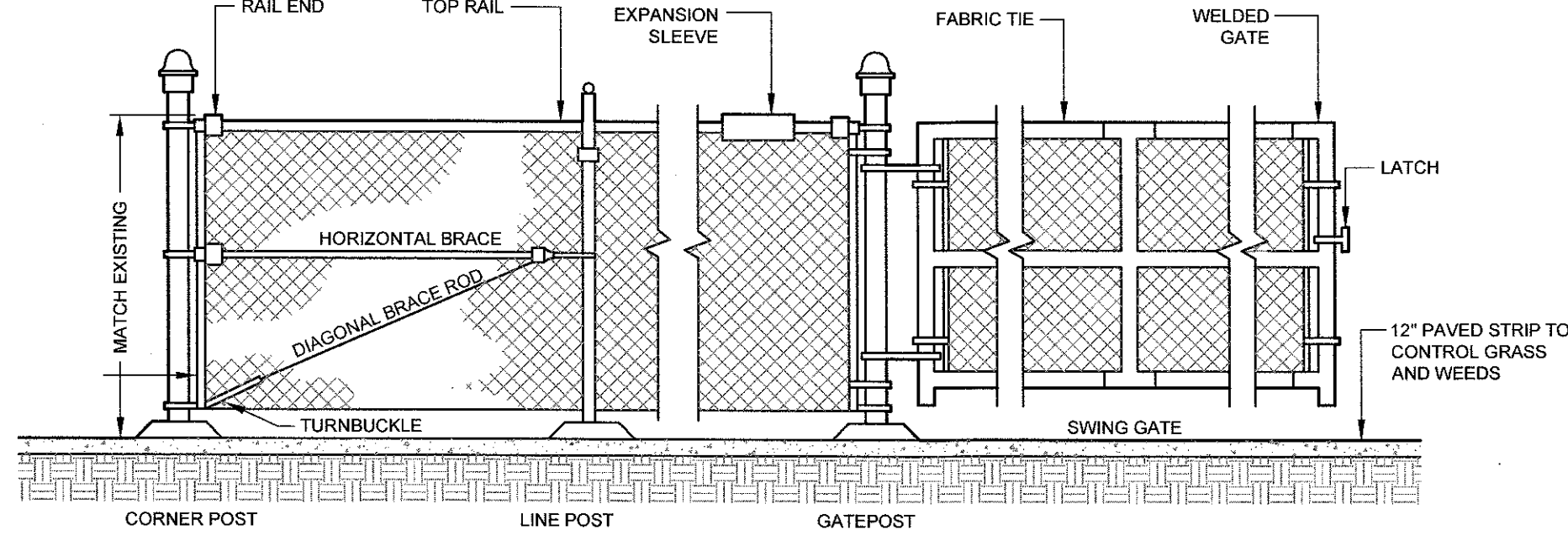


NOTES:

1. BALE WEIGHT SHALL NOT BE LESS THAN 50 LBS AND SHALL BE BOUND WITH NO LESS THAN TWO STRINGS OR WIRES CONTAINING A MINIMUM OF FIVE (5) CUBIC FEET OF MATERIAL. MINIMUM DIMENSIONS SHOWN IN DETAIL.
2. STRAW BALES SHALL BE CERTIFIED AS BEING NOXIOUS WEED-FREE BALES. TO BE "CERTIFIED" MEANS THAT THE PRODUCT IS FREE OF ANY NOXIOUS WEEDS.
3. STAKES SHALL BE DRIVEN THROUGH STAKES AT A SLIGHT UPSTREAM ANGLE TO PREVENT BALE FROM OVERTURNING.
4. LOOSE STRAW SHALL BE WEDGED BETWEEN BALES AFTER INSTALLATION.
5. MATERIAL EXCAVATED FROM TRENCH SHALL BE BACKFILLED, COMPACTED, AND STABILIZED.

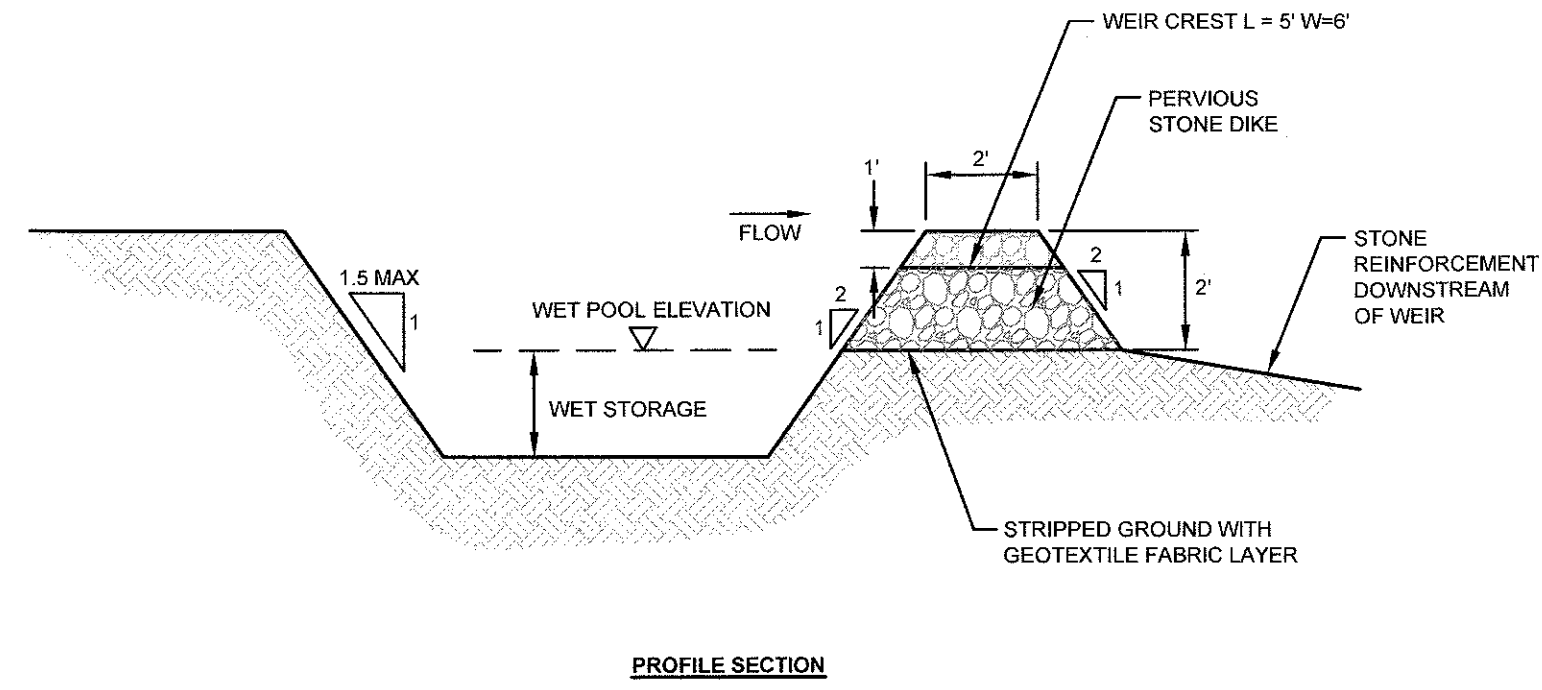
BALED STRAW EROSION CONTROL BARRIER

SCALE: NOT TO SCALE



TYPICAL CHAIN LINK FENCE DETAIL

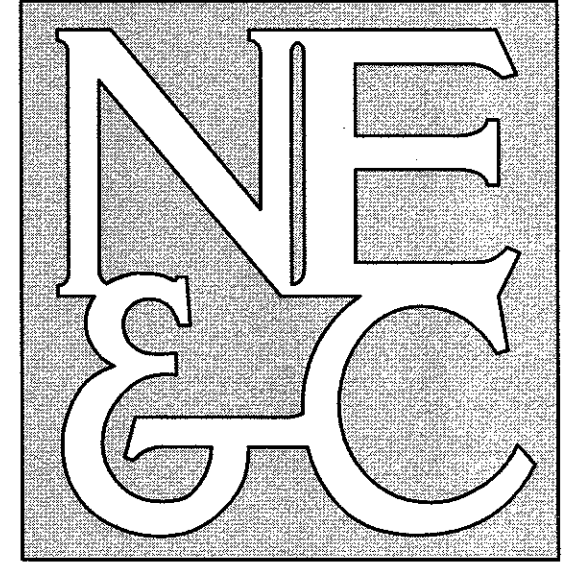
SCALE: NOT TO SCALE



TYPICAL SEDIMENT TRAP DETAILS

SCALE: NOT TO SCALE

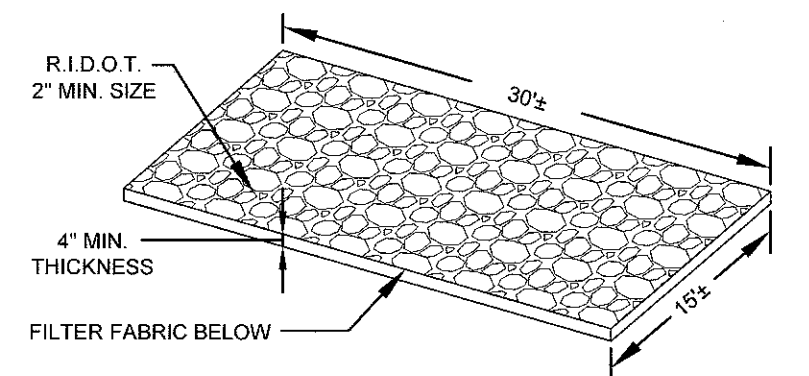
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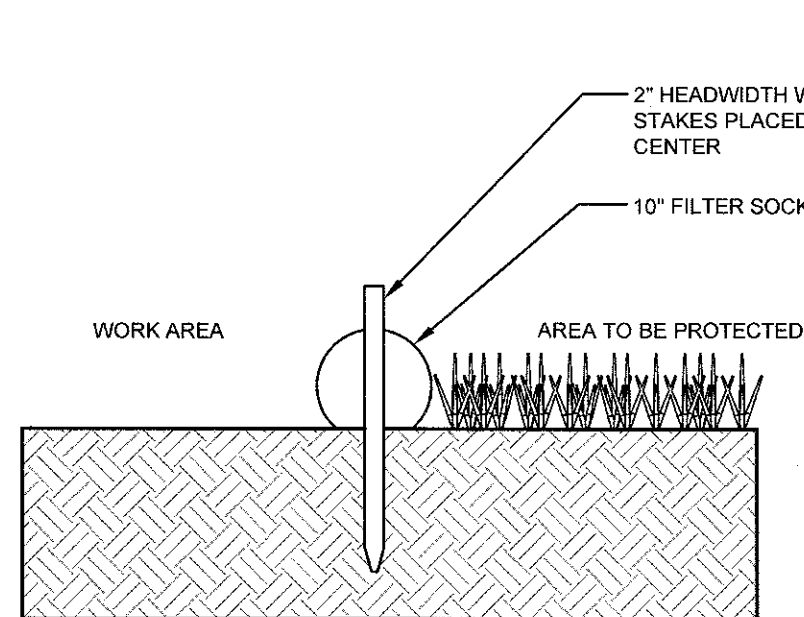
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ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL



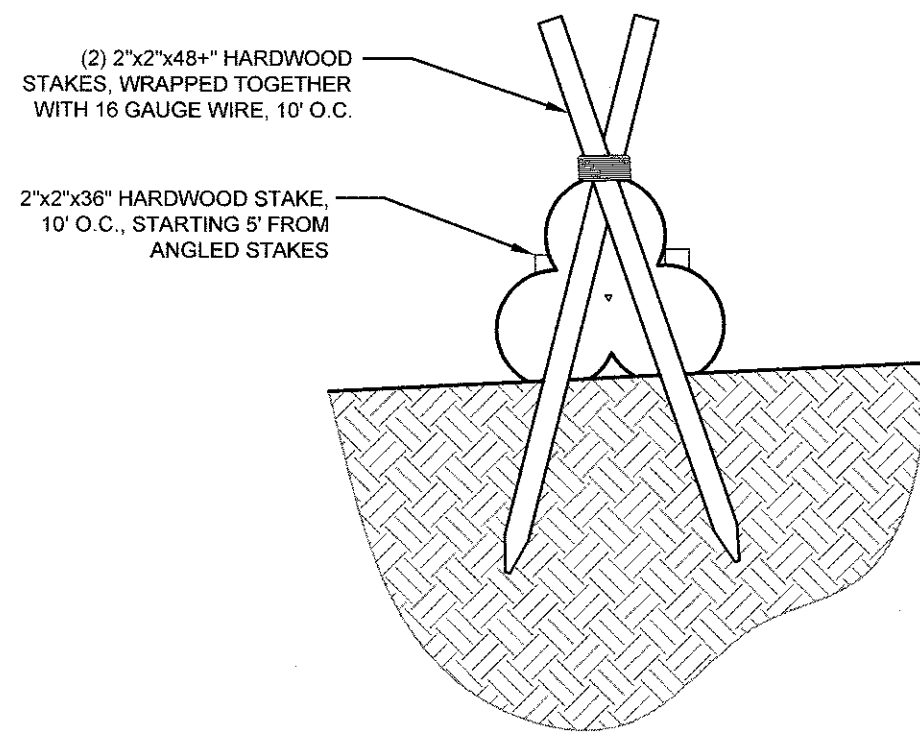
NOTE: ALL CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE CONTRACTOR'S DISCRETION PER DETAIL PROVIDED.

CONSTRUCTION ENTRANCE

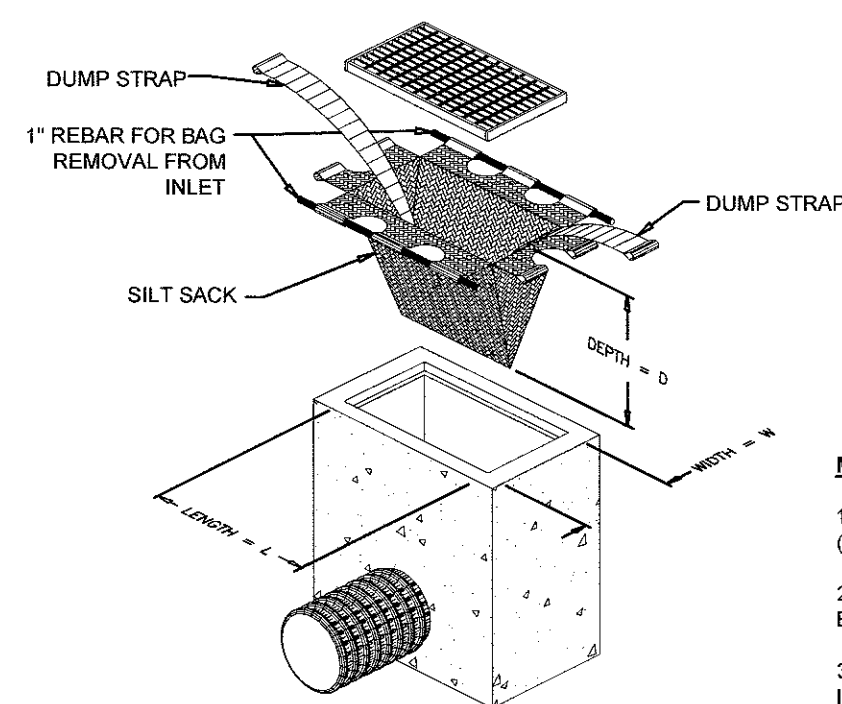
SCALE: NOT TO SCALE



SECTION VIEW



PYRAMID SECTION VIEW (FOR HIGH FLOW CONDITIONS)

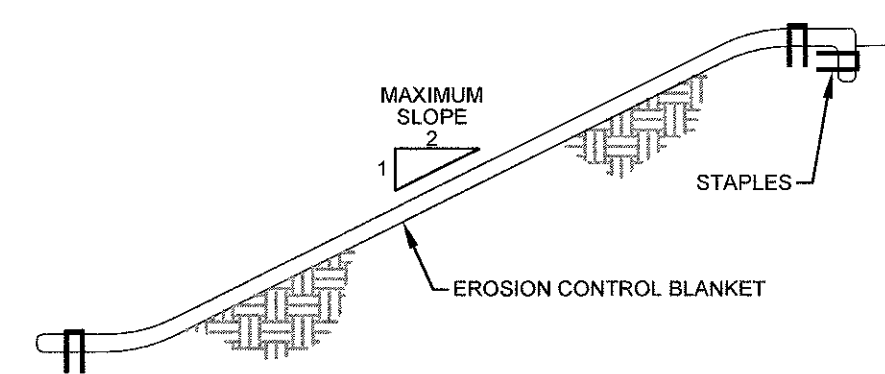


MAINTENANCE SCHEDULE:

1. EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT (>0.25" OF PRECIPITATION IN 24 HOURS).
2. IF THERE HAVE BEEN NO MAJOR EVENTS, SILTSACKS SHALL BE INSPECTED EVERY 2-3 WEEKS.
3. THE YELLOW RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF THE CORD IS COVERED WITH SEDIMENT, THE SILTSACK SHOULD BE EMPTIED.

SILTSACK DETAIL

SCALE: NOT TO SCALE



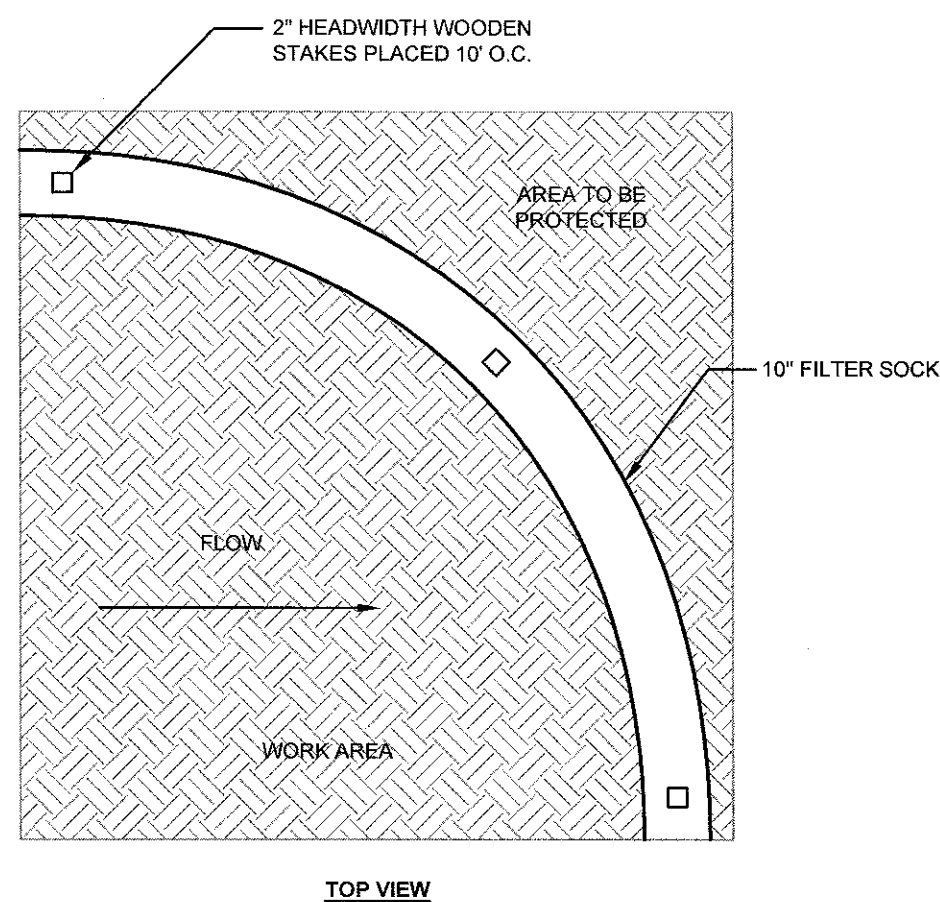
CROSS SECTION

NOTES:

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL THE BLANKETS DOWN THE SLOPE IN THE DIRECTION OF THE WATER FLOW.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 6" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

EROSION CONTROL BLANKET

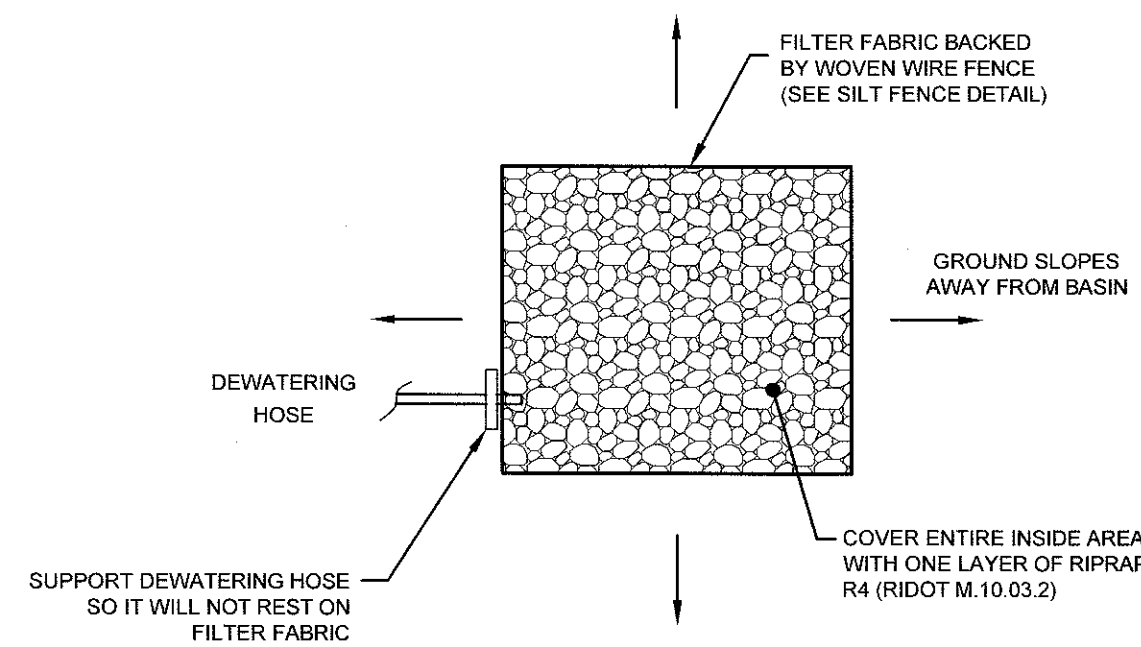
SCALE: NOT TO SCALE



TOP VIEW

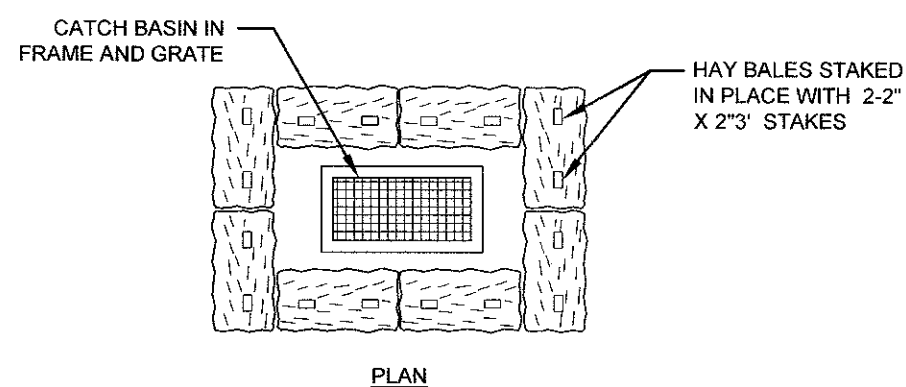
10" FILTER SOCK DETAIL

SCALE: NOT TO SCALE



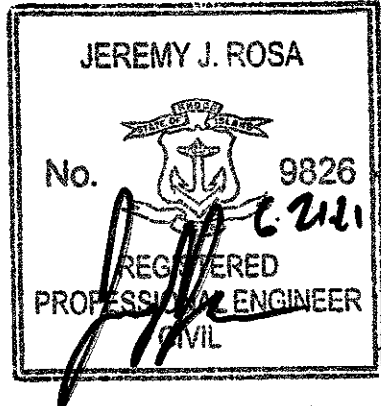
DEWATERING BASIN

SCALE: NOT TO SCALE



STRAW BALE INLET PROTECTION

SCALE: NOT TO SCALE

1	SUBMISSION REVISIONS		21MAY21	
No.	Revision		Date	App.
Designed By: JJR		Drawn by: JJR	Checked by:	GES
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"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND				
Client/Owner:				
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903				
Issued for:				
PERMITTING				
Drawing Title:				
PROPOSED DETAIL SHEET 1				
		Drawing Number:		
		C-18		
		Sheet 18 of 22		
		Project Number:		
		20072.0		
		Survey Index:		
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NE & C

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PLANTINGS MAY BE SELECTED FROM THE RHODE ISLAND COASTAL PLANT GUIDE OR APPENDIX B OF THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL. REFER TO LANDSCAPE PLAN

MULCH LAYER
6" NON-DYED AGED SHREDDDED HARDWOOD MULCH AND SANDY SOIL.

EL=19.0

EL=17.0

EL=19.0

BIORETENTION SOIL LAYER
(30" OF MEDIA)

EL=18.50

LINE BIORETENTION MEDIA WITH PUNCTURE RESISTANT PERMEABLE GEOTEXTILE (SEE NOTE 4)

EL=14.0

UNDISTURBED NATIVE MATERIAL

PLANTINGS MAY BE SELECTED FROM THE RHODE ISLAND COASTAL PLANT GUIDE OR APPENDIX B OF THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL. REFER TO LANDSCAPE PLAN

MULCH LAYER
6" NON-DYED AGED SHREDED HARDWOOD MULCH AND SANDY LOAM

BIORETENTION SOIL LAYER
(24" OF MEDIA)

LINE BIORETENTION MEDIA WITH PUNCTURE RESISTANT PERMEABLE GEOTEXTILE (SEE NOTE 4)

UNDISTURBED NATIVE MATERIAL

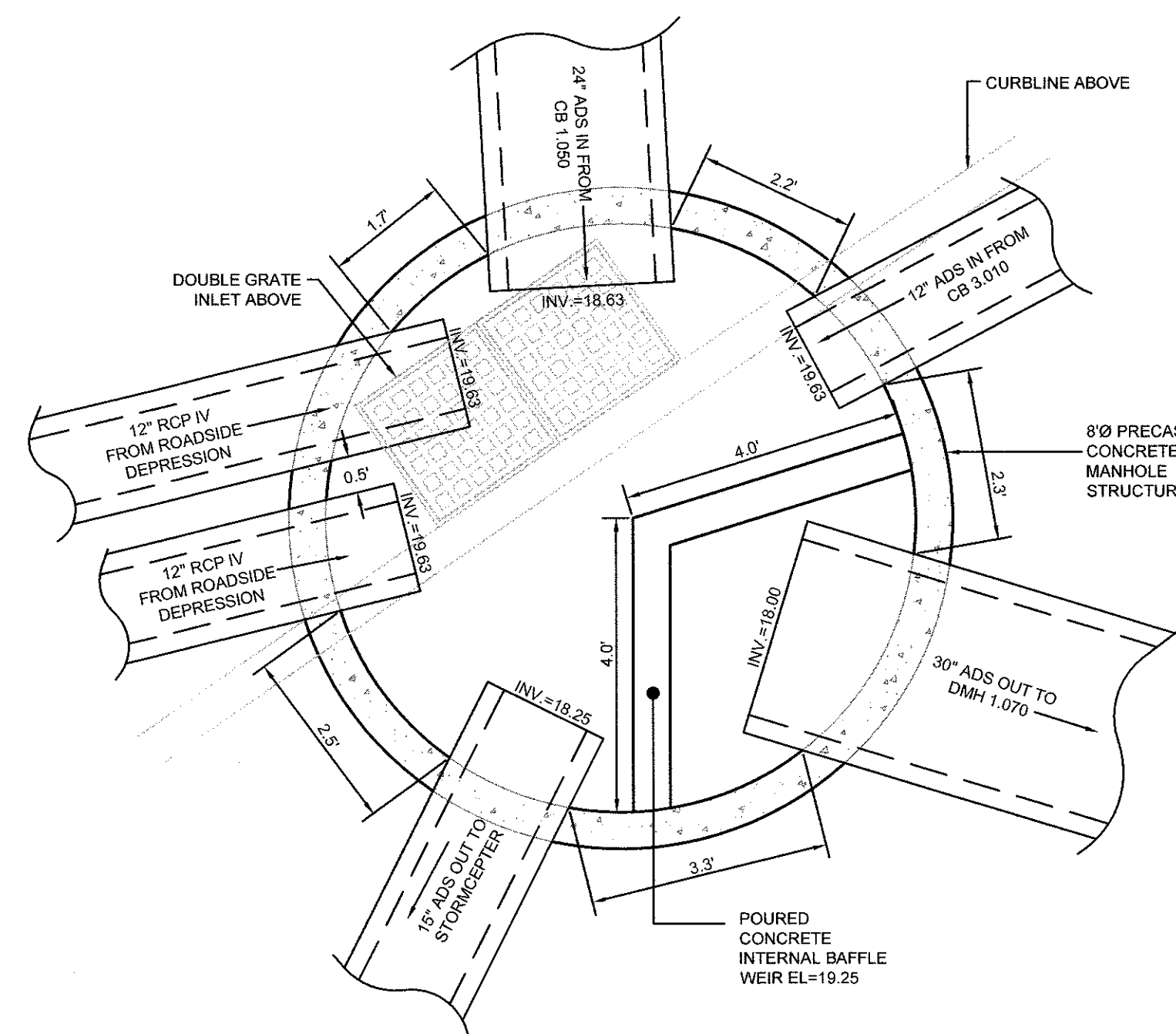
EL=22.0
EL=20.0
EL=19.50
EL=17.50

1. BIORETENTION FILTER PLANTS MAY BE SELECTED FROM THE RHODE ISLAND COASTAL PLANT GUIDE OR APPENDIX B OF THE RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL. REFER TO LANDSCAPE PLANTS.
2. PLANTS MUST BE DENSE AND COVER THE ENTIRETY OF THE FILTER SURFACE.
3. BIORETENTION SOIL SHALL CONSIST OF LOESS LOAMY SAND AND MEET THE FOLLOWING GRADATIONS: SANDS 85-88% SILT 6-12%, CLAY 0-2%, AND ORGANIC MATTER (LEAF COMPOST) 3-6%.
4. PERMEABLE GEOTEXTILE FABRIC SHALL HAVE A PUNCTURE STRENGTH OF 125 LBS. A BURN STRENGTH OF 4000 PSI (ASTM D 1117) AND A TENSILE STRENGTH OF 300 LBS (ASTM D 1682). FABRIC SHALL BE MIN 0.08" THICK WITH AN EQUIV. OPENING SIZE OF #60 SIEVE AND A MINIMUM FLOW RATE OF 125 GPM PER SQUARE FOOT.

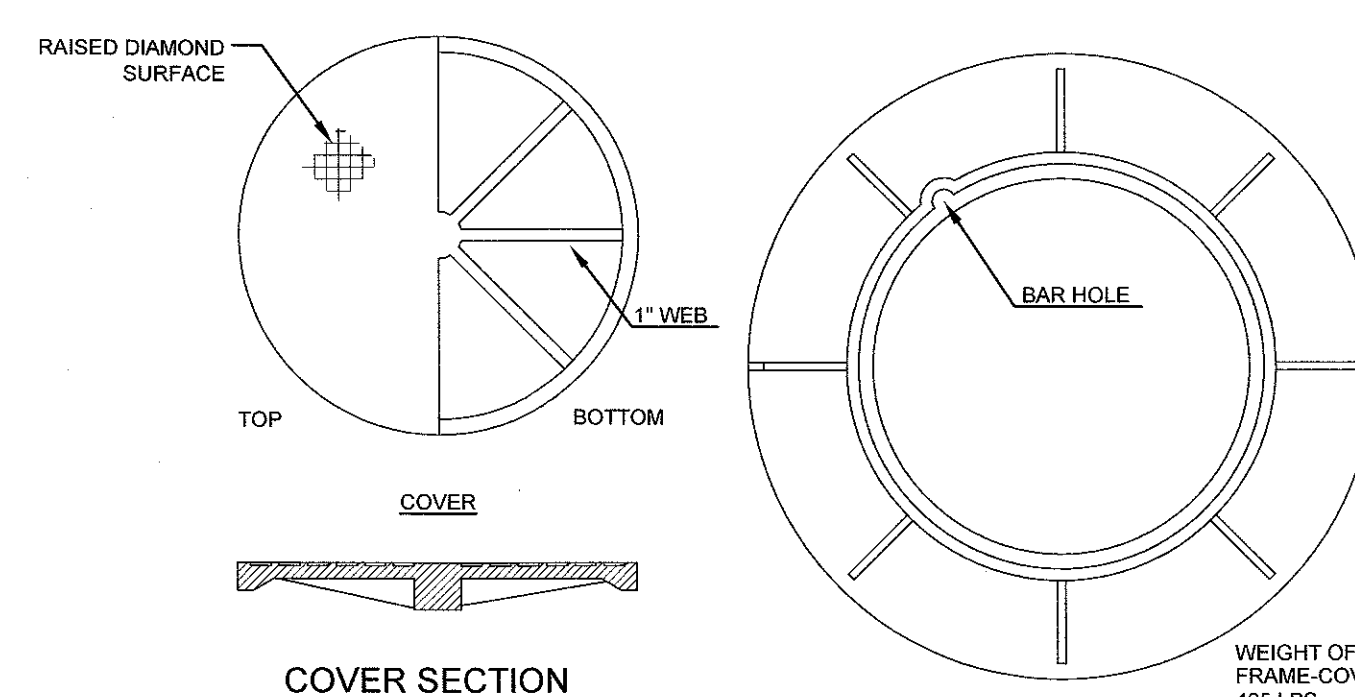
SCALE: NOT TO SCALE

1. SAND FILTER SHALL BE PLANTED WITH NEW ENGLAND WETMIX (WETLAND SEED MIX) BY NEW ENGLAND WETLAND PLANTS, INC. OR APPROVED EQUAL.
2. SAND FILTER SAND TO BE CLEAN ASTMA M-60 OR ASTM C-33 CONCRETE SAND (0.02" TO 0.04"). SAND SUBSTITUTIONS SUCH AS DIABASE AND GRAYSTONE #10 ARE NOT ACCEPTABLE. NO CALCIUM CARBONATE OR DOLOMITIC SAND SUBSTITUTIONS ARE ACCEPTABLE. NO ROCK STUMP CAN BE USED AS SAND.
3. PERMEABLE GEOTEXTILE FABRIC SHALL HAVE A TENSILE STRENGTH OF 125 LBS. A BURST STRENGTH OF 400 PSI (ASTM D 1117) AND A TENSILE STRENGTH OF 500 LBS (ASTM D 1850). FABRIC SHALL BE 2' WIDE WITH AN EQUIVALENT OPENING SIZE OF #80 SIEVE AND A MINIMUM FLOW RATE OF 125 GPM PER SQUARE FOOT.

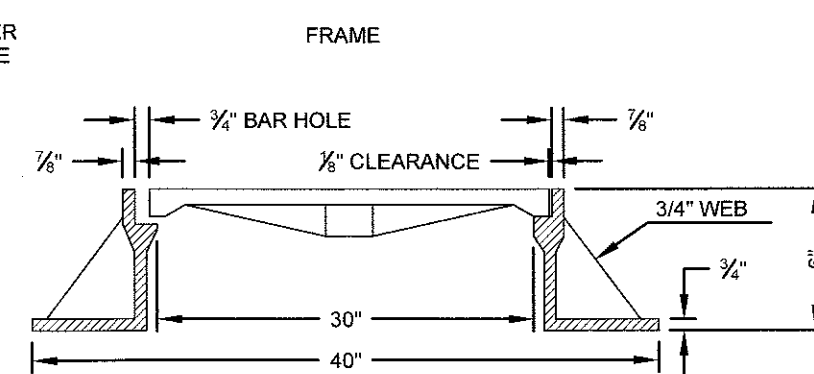
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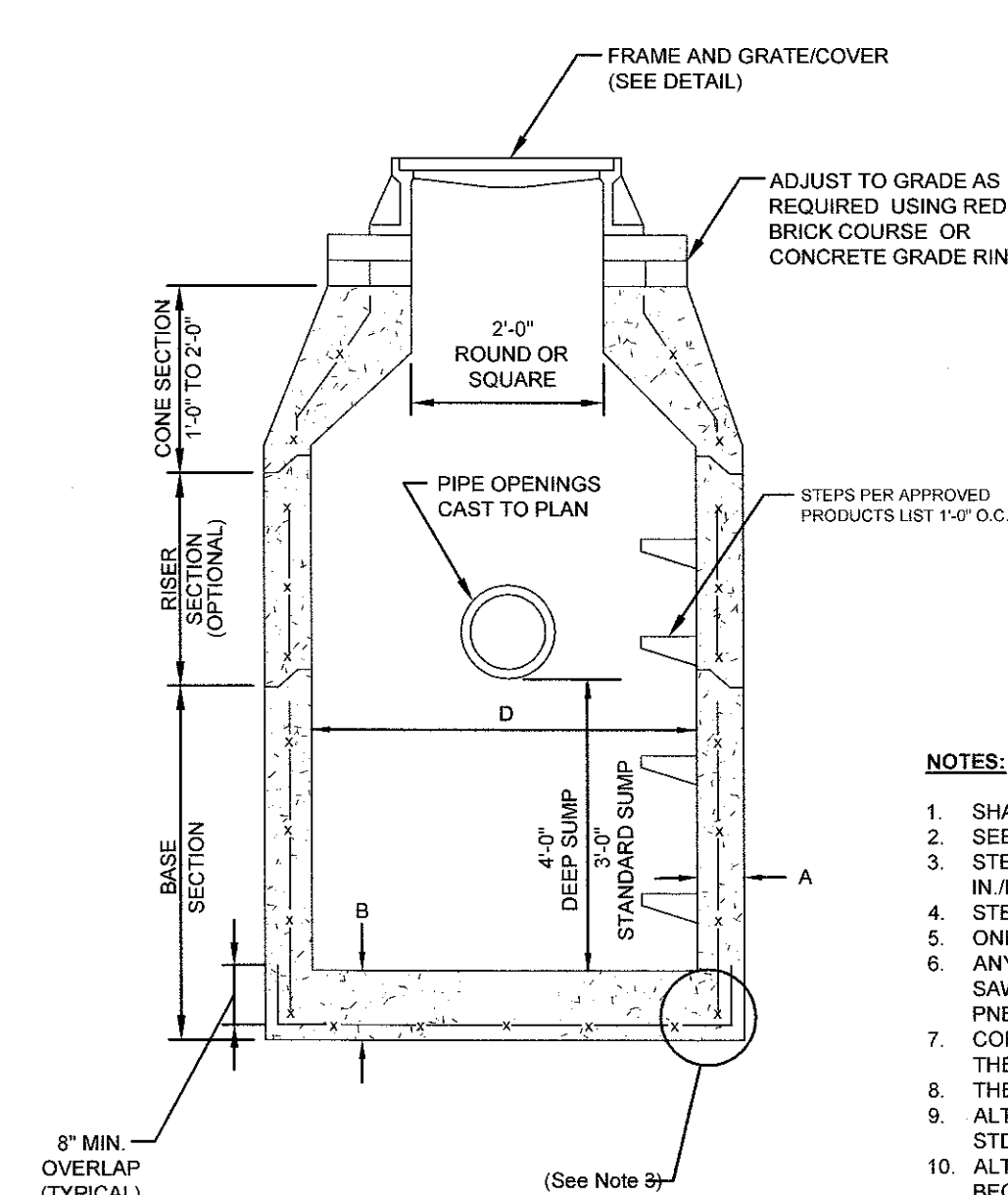
SCALE: 1"=2'



FRAME AND COVER
SEATS MUST HAVE
MACHINE FINISH



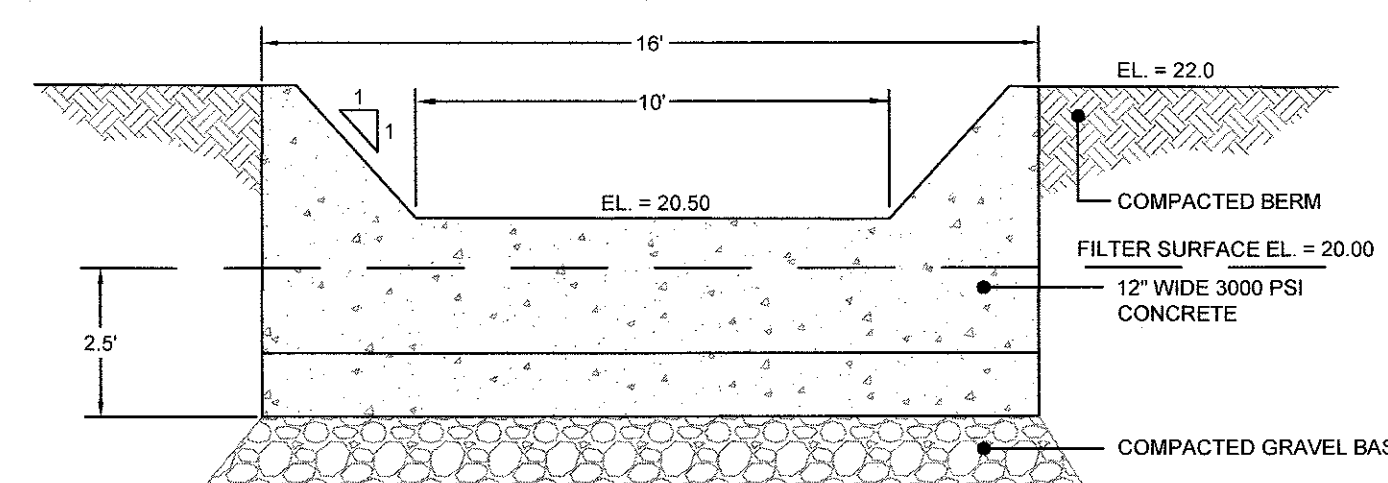
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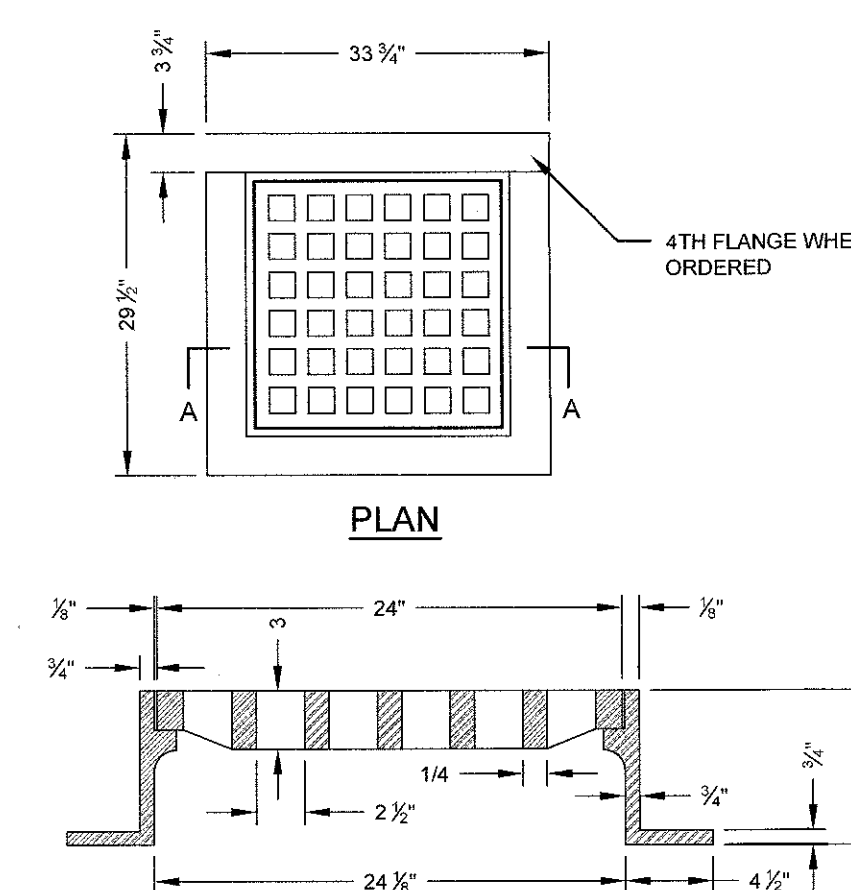
SCALE: NOT TO SCALE

* FOR LONGITUDINAL (VERTICAL STANDING)
REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

- NOTES:**
1. SHALL BE ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATION.
 2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTHWAYS).
 4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 5. ONE POSITION ONLY THIS BASE SECTION.
 6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR OTHER TOOL SHALL BE USED.
 7. CORREL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE 4'-0" CATCH BASIN ONLY.
 8. THE CENTERLINE OF THE OPENINGS MUST BE WITHIN 2'-0" FROM THE STEPS.
 9. ALTERNATIVE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING (SEE STD. 4.7.2).
 10. ALTERNATIVE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 11. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

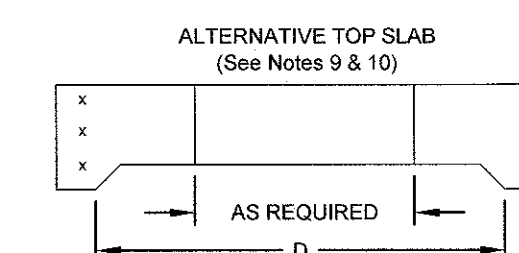


SCALE: NOT TO SCALE



SECTION A-A

SCALE: NOT TO SCALE



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No.	Revision			Date	App.
Designed By:		JJR	Drawn by:		JJR
			Checked by:		GES
Scale:		AS SHOWN		Date:	22APR21
Project Title:					

Project Title	
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"EAST POINT"
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MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

Client/Owner:


NOBLE DEVELOPMENT, LLC
10 GREEN STREET
PROVIDENCE, RI 02903

Issued for	
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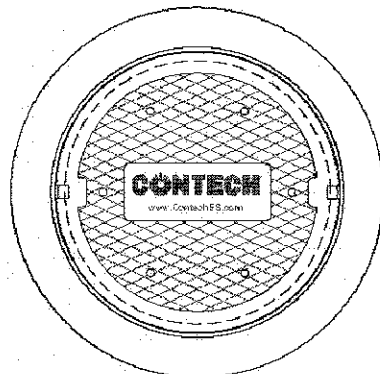
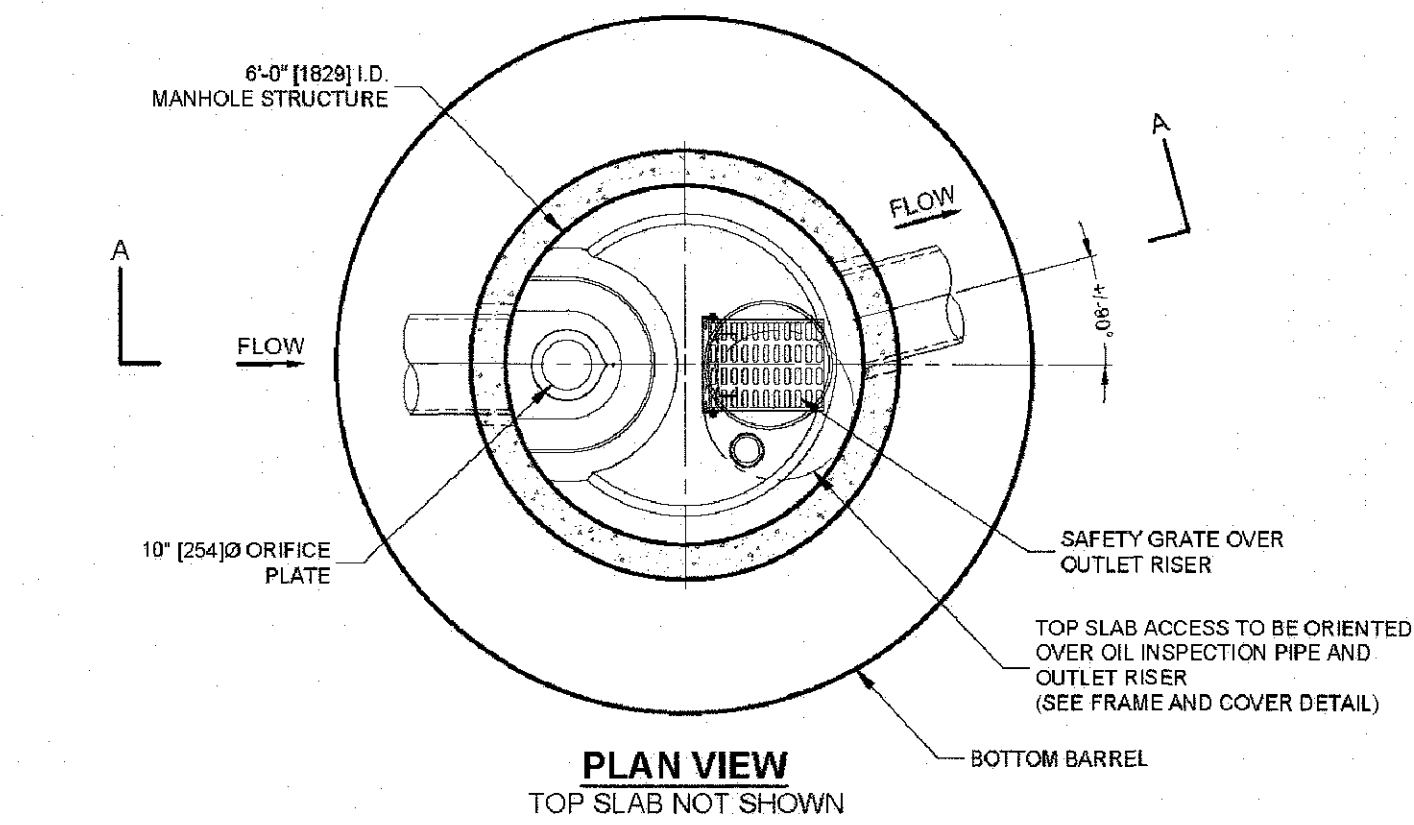
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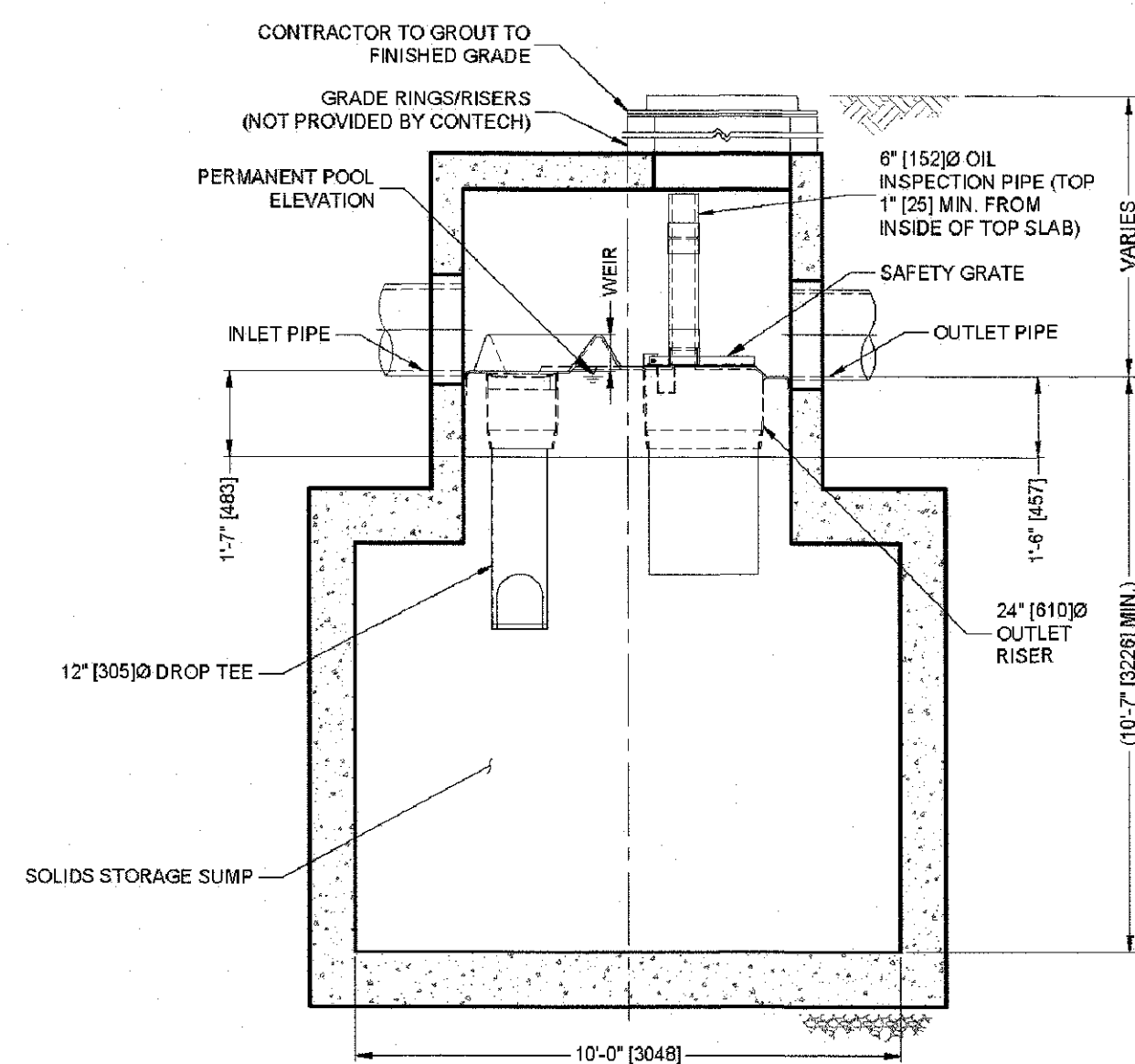
PROPOSED
DETAIL SHEET 2

 No. <u>9826</u> <i>6-21-79</i> REGISTERED PROFESSIONAL ENGINEER CIVIL	Drawing Number: <div>C-19</div>
	Sheet <u>19</u> of <u>22</u>
	Project Number: <div>20072.0</div>
	Survey Index:

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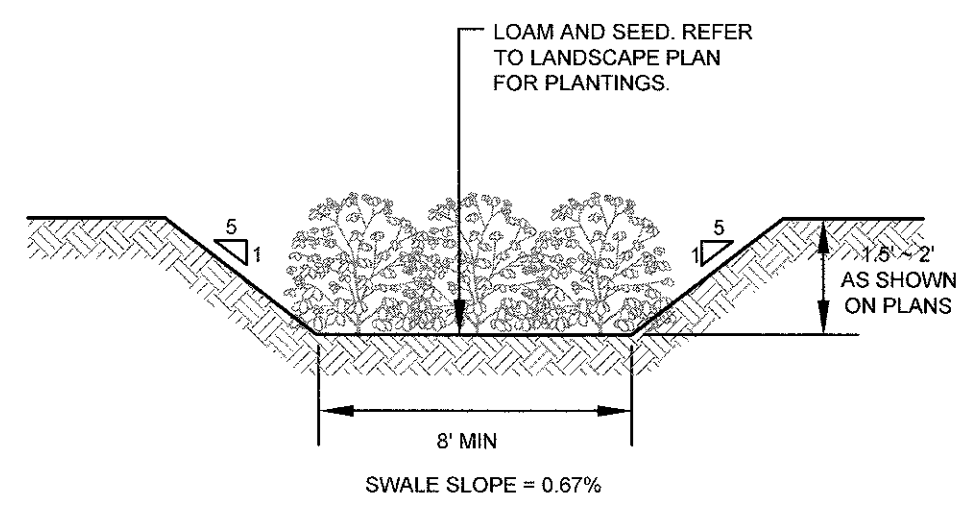


FRAME AND COVER
(MAY VARY)
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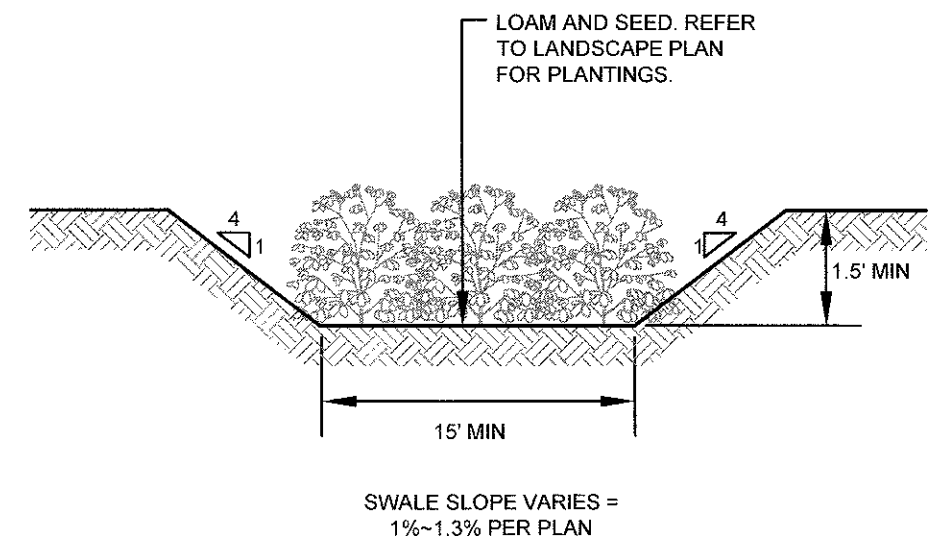


SECTION A-A

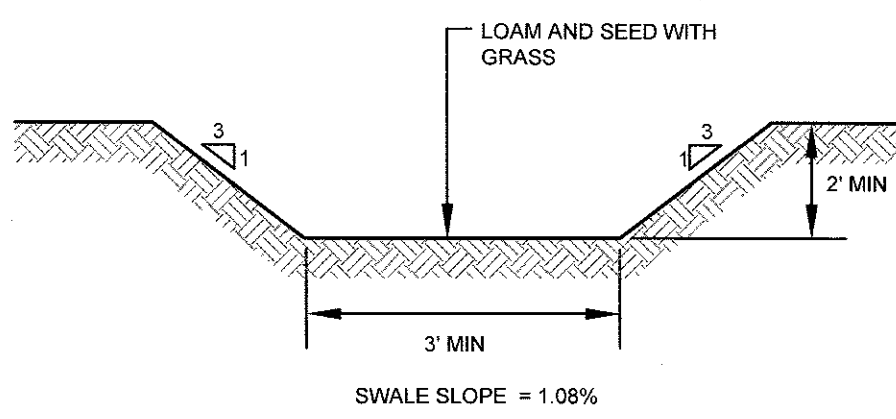
STORMCEPTOR STC4800 STANDARD DETAIL (BIORETENTION B-1 PRETREATMENT)
SCALE: NOT TO SCALE



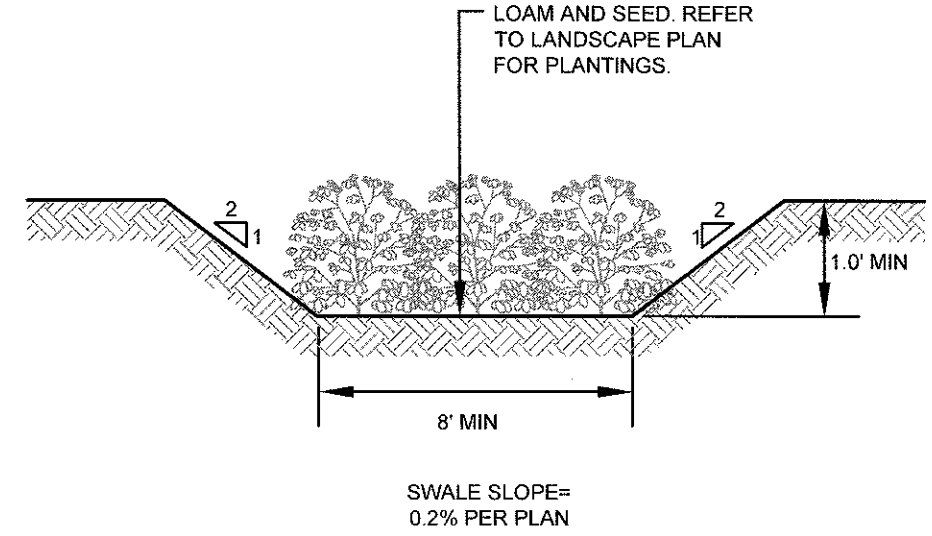
SWALE 1: (VEGETATED DRY) CROSS SECTION
SCALE: NOT TO SCALE



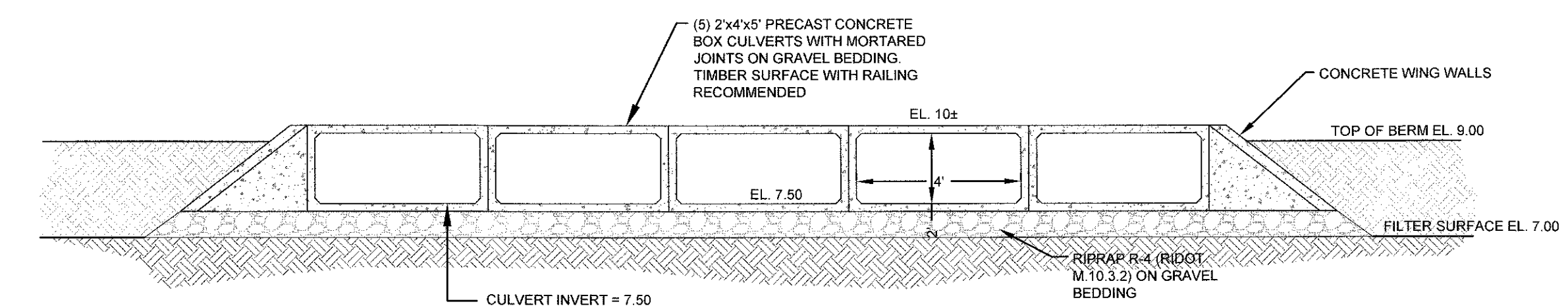
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SCALE: NOT TO SCALE



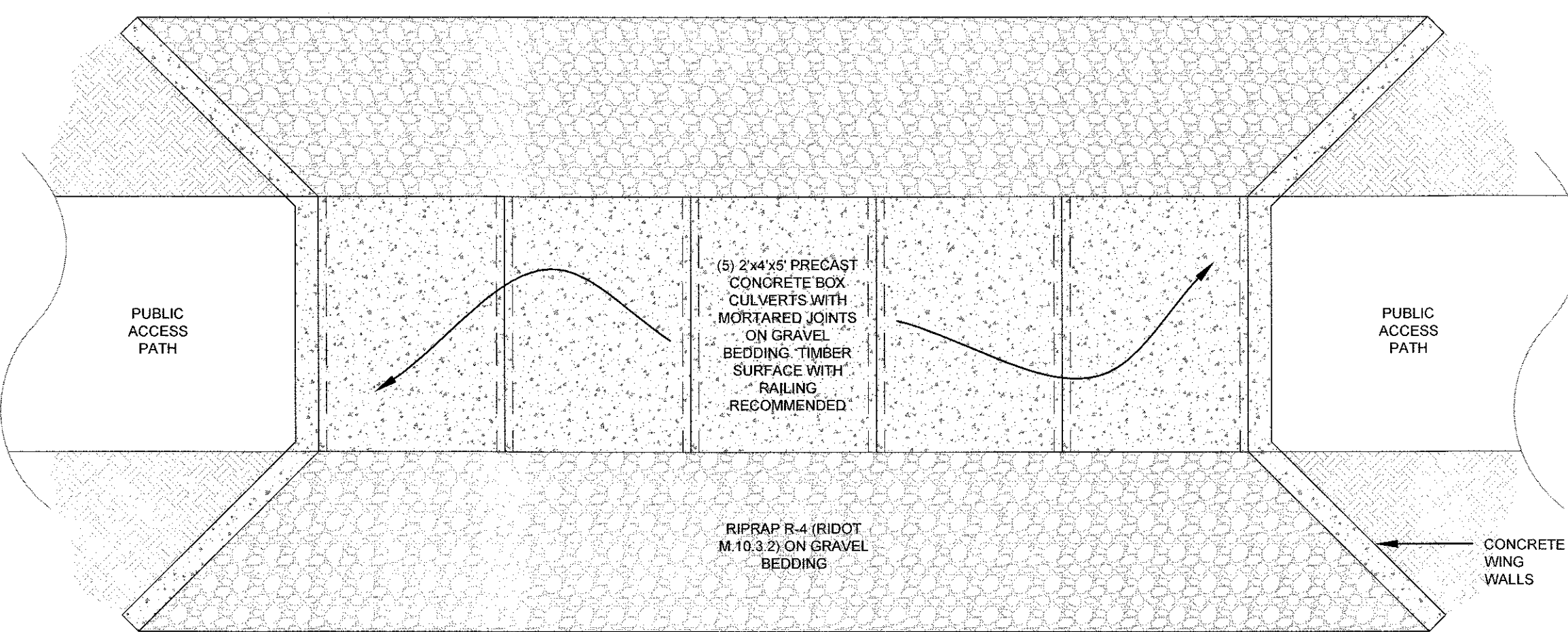
SWALE 2: (GRASS) CROSS SECTION
SCALE: NOT TO SCALE



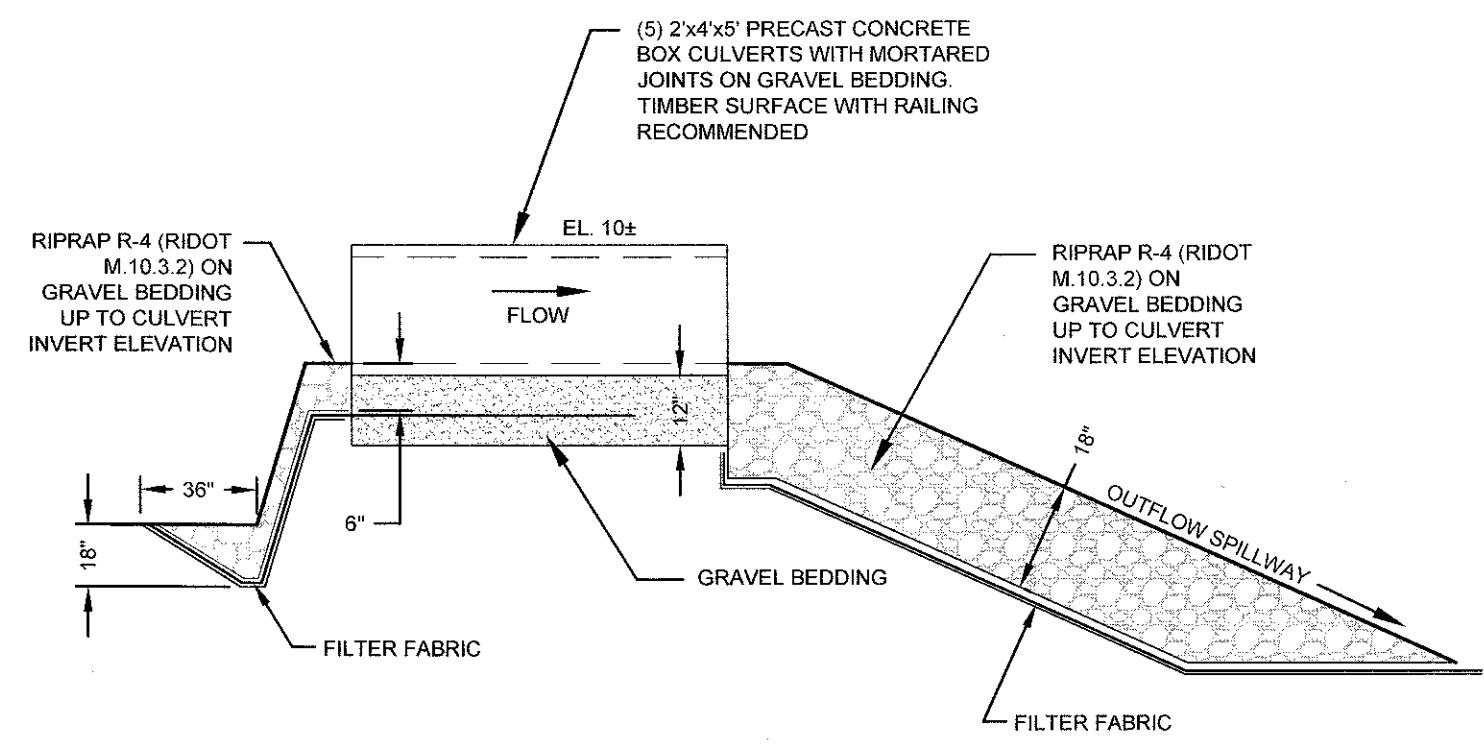
SWALE 4: (VEGETATED DRY) CROSS SECTION
SCALE: NOT TO SCALE



PROFILE VIEW



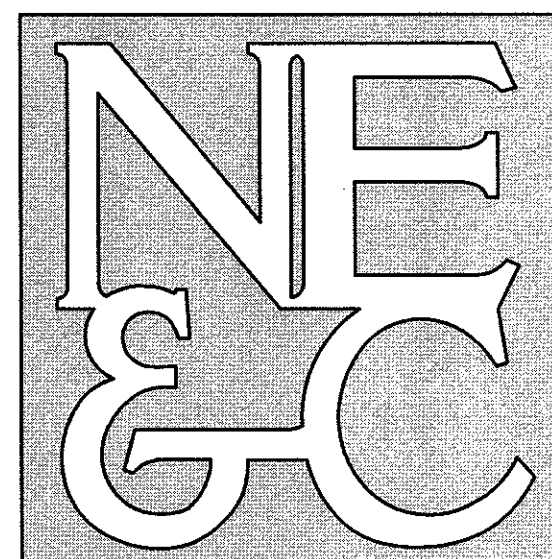
TOP VIEW



SECTION VIEW

SAND FILTER B-2 OVERFLOW WEIR DETAILS
SCALE: NOT TO SCALE

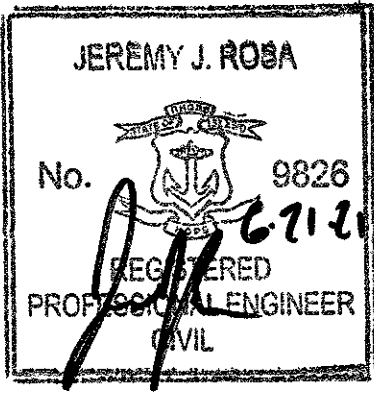
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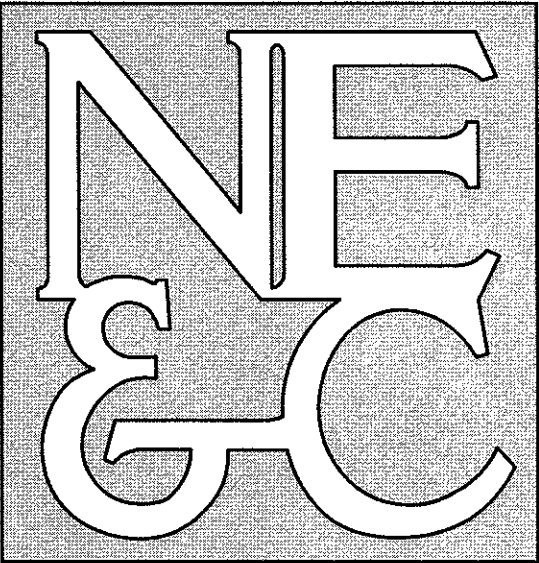


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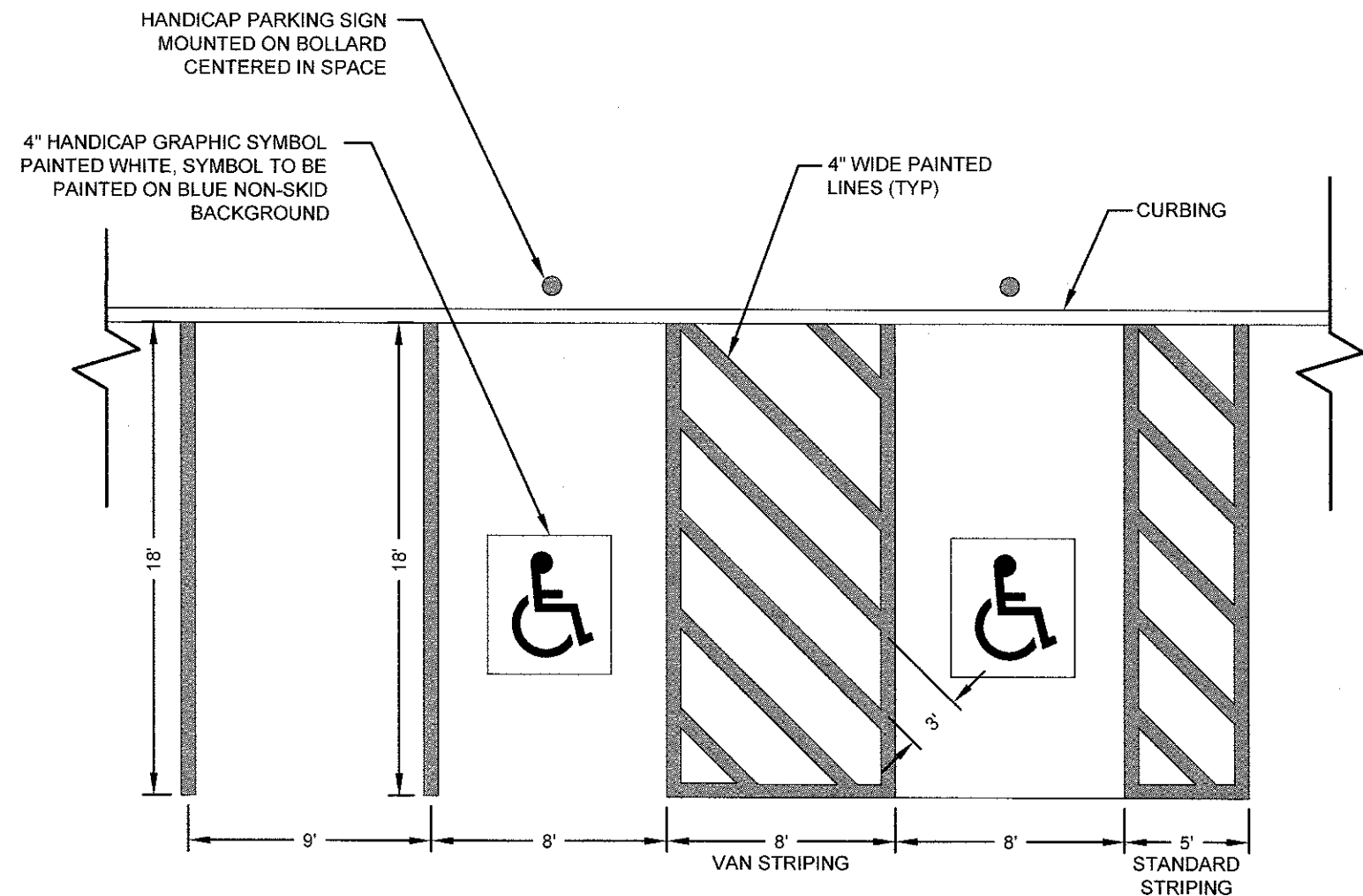
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Designed By:	JJR	Drawn by:	JJR	Checked by: GES
Scale:	AS SHOWN		Date:	22APR21
Project Title:				
"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND				
Client/Owner:				
NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903				
Issued for:				
PERMITTING				
Drawing Title:				
PROPOSED DETAIL SHEET 3				
		Drawing Number: C-20		
		Sheet 20 of 22		
		Project Number: 20072.0		
		Survey Index: — —		
OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.				



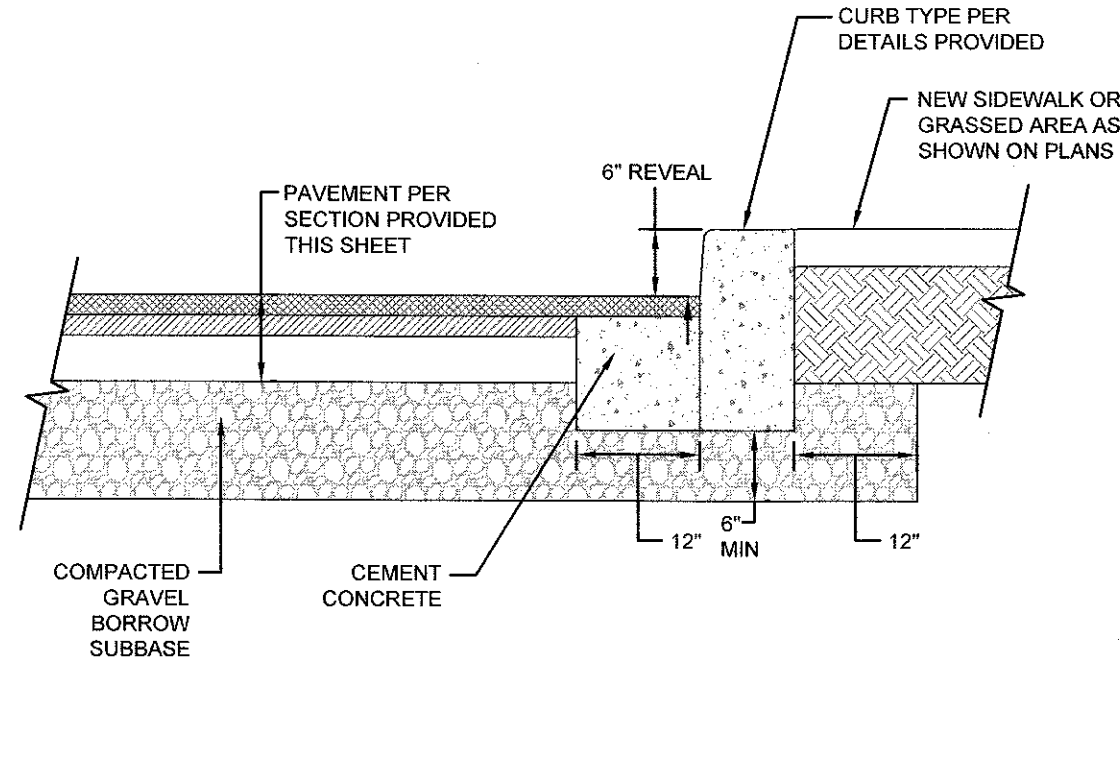
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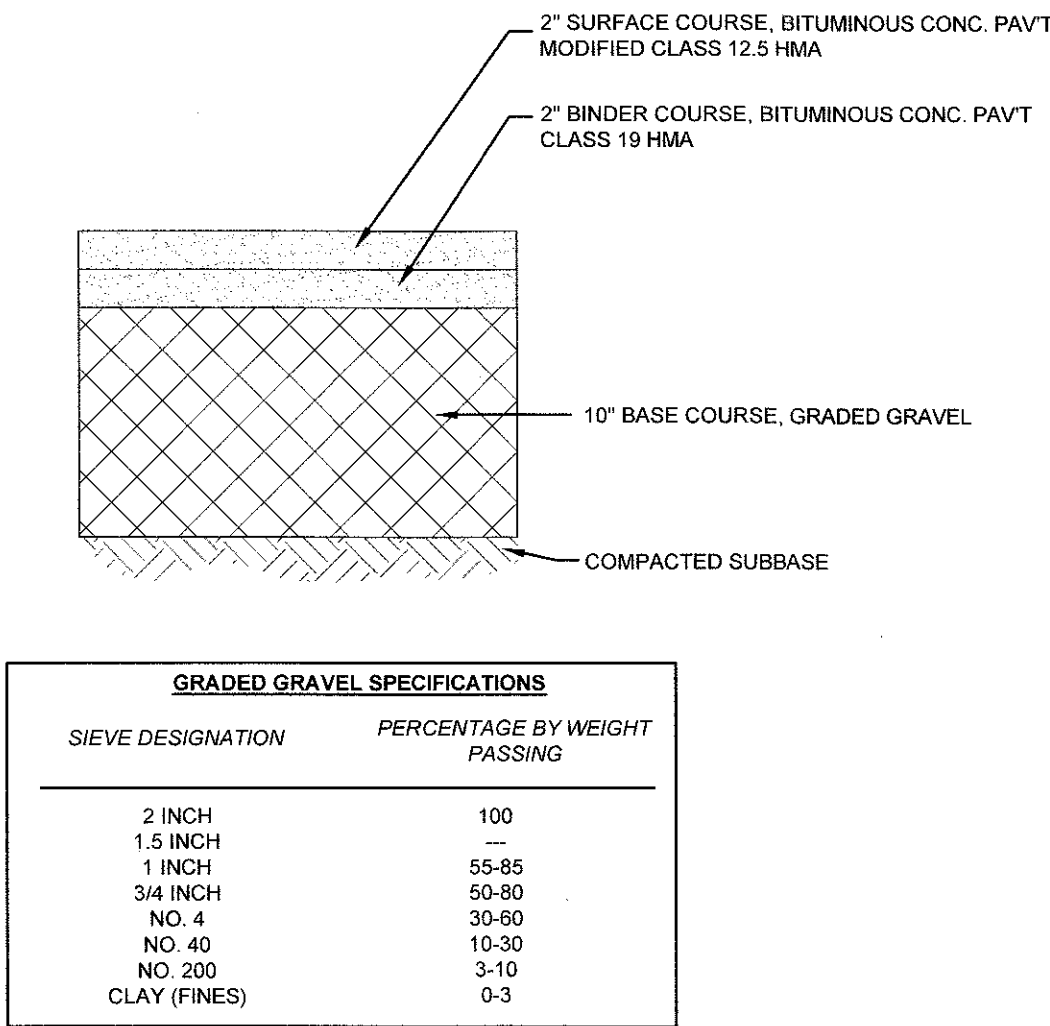
SITE/CIVIL
LAND PLANNING
WATERFRONT
SURVEYING
GEOTECHNICAL
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TRANSPORTATION
STRUCTURAL



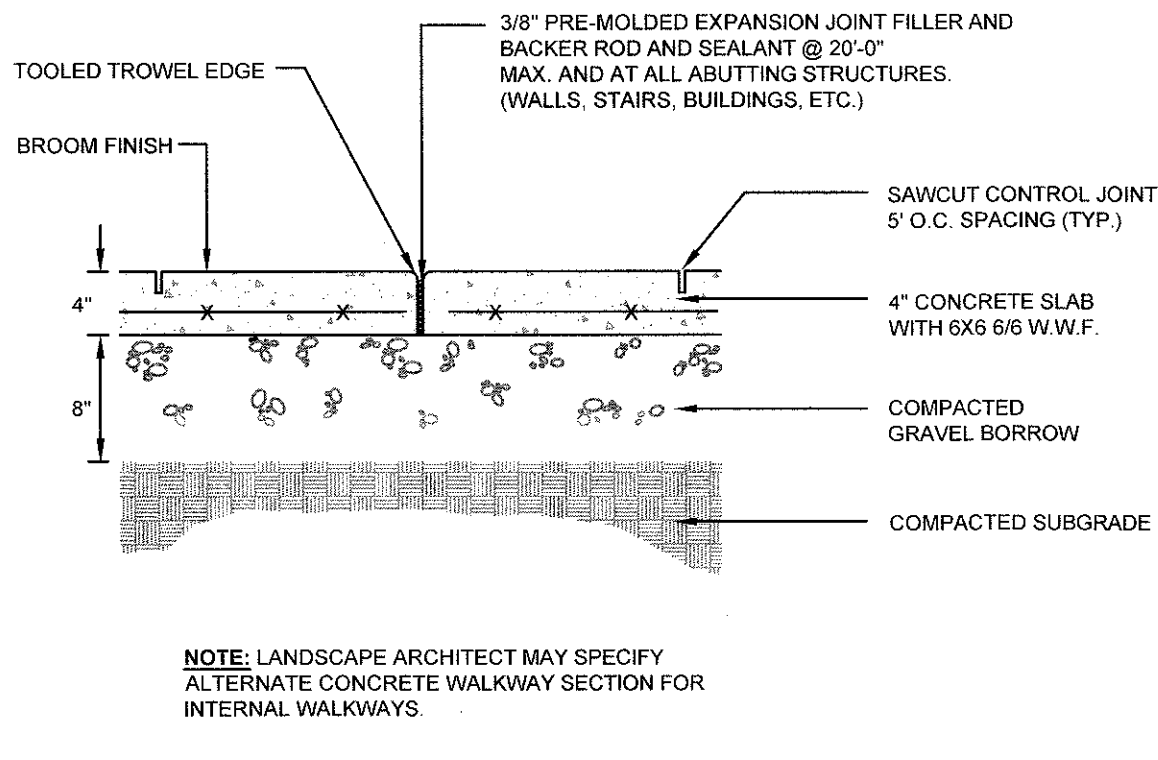
PARKING STALL STRIPING
SCALE: NOT TO SCALE



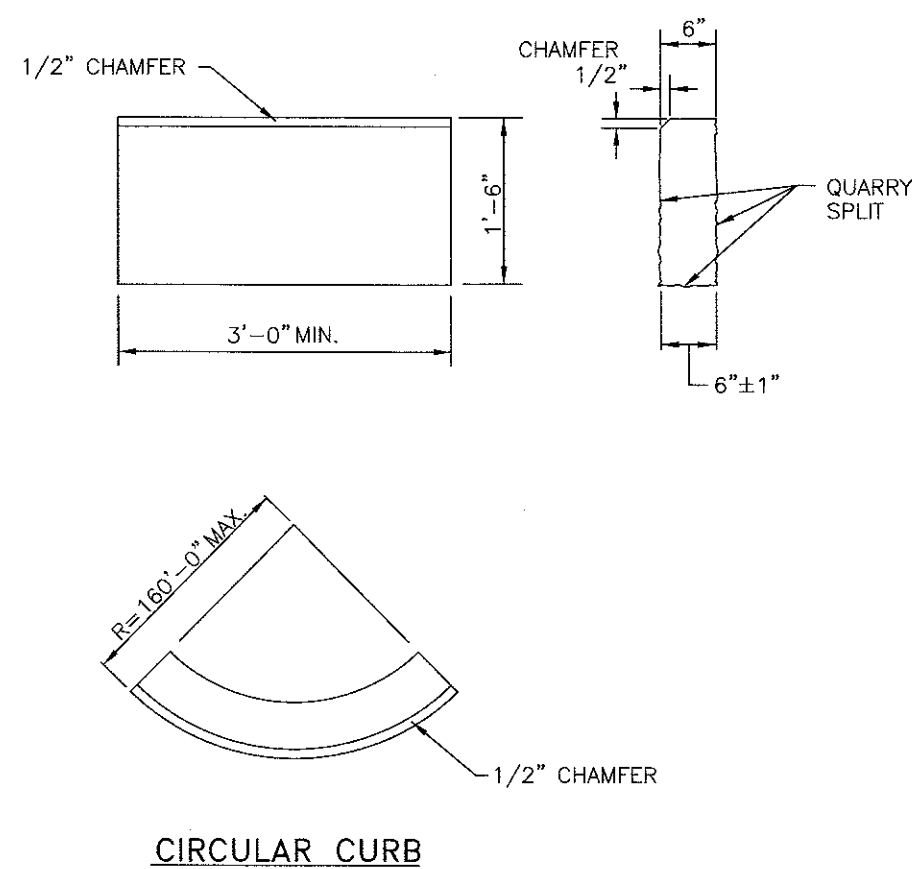
CURB SETTING DETAIL
SCALE: NOT TO SCALE



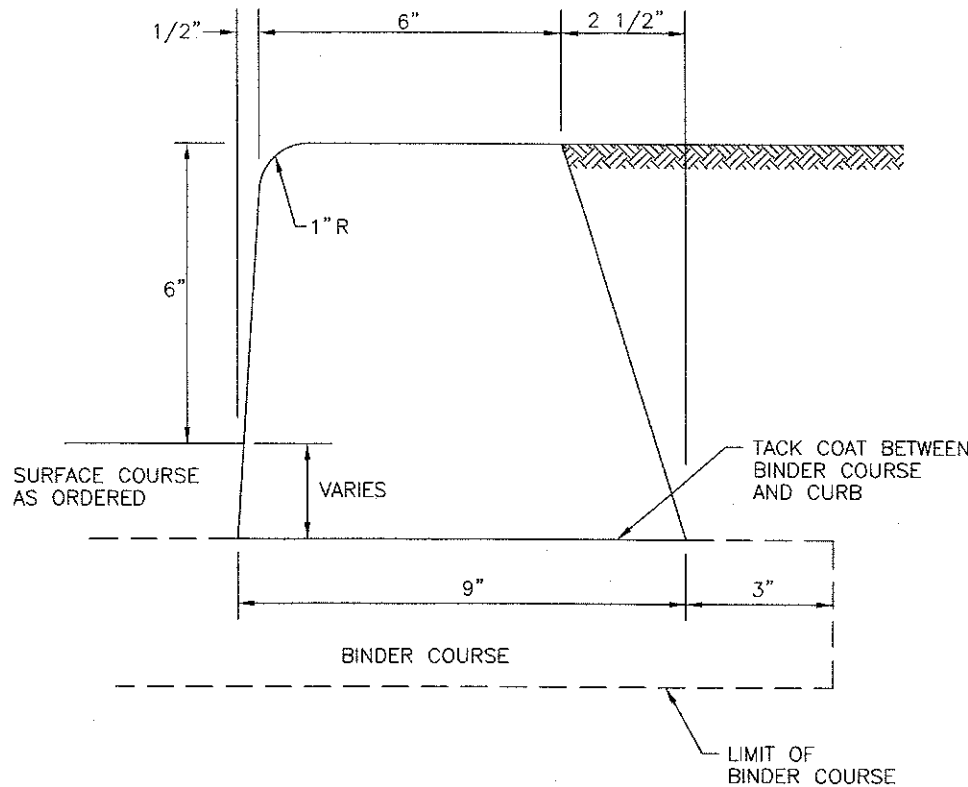
TYPICAL BITUMINOUS PAVEMENT SECTION
SCALE: NOT TO SCALE



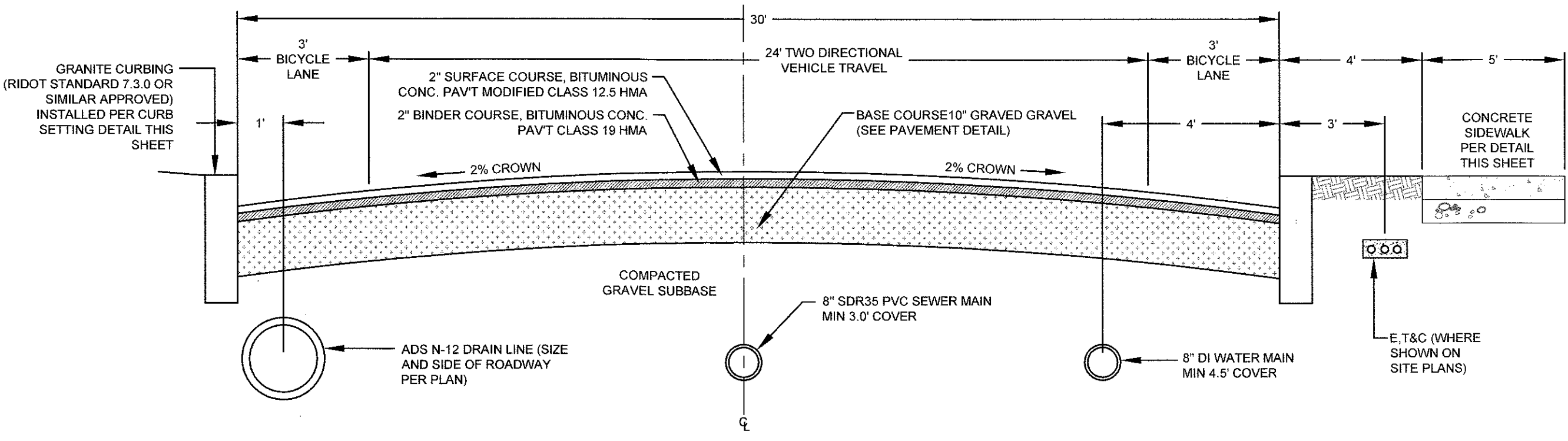
CONCRETE WALKWAY SECTION
SCALE: NOT TO SCALE



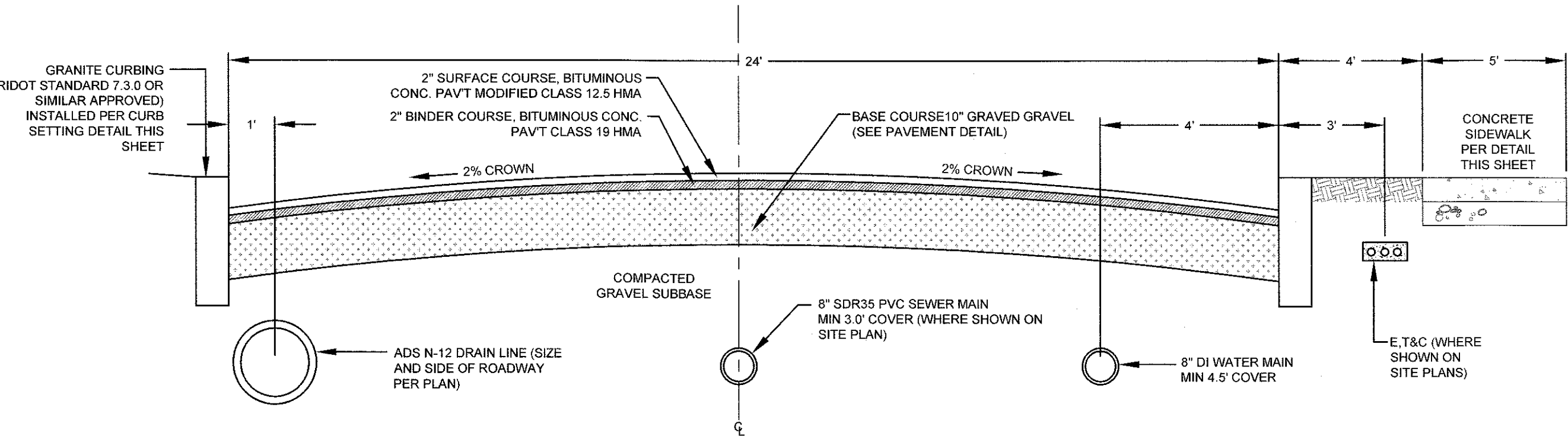
CIRCULAR CURB



NOTE: SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.



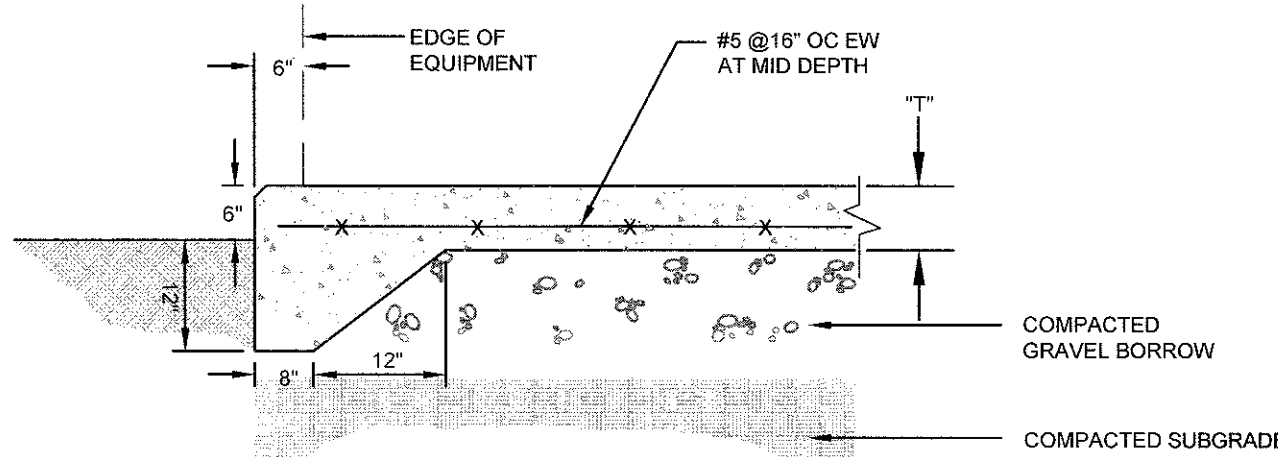
ROAD SECTION (30' WIDE MAIN ROAD)
SCALE: NOT TO SCALE



ROAD SECTION (24' RESIDENTIAL ACCESS ROADS 2 & 3)
SCALE: NOT TO SCALE

GRANITE CURB (PUBLIC ROADS ONLY) RIDOT STD 7.3.0
SCALE: NOT TO SCALE

BITUMINOUS CURB (RESIDENTIAL ACCESS ROADS & PARKING AREAS) RIDOT STD 7.5.0
SCALE: NOT TO SCALE



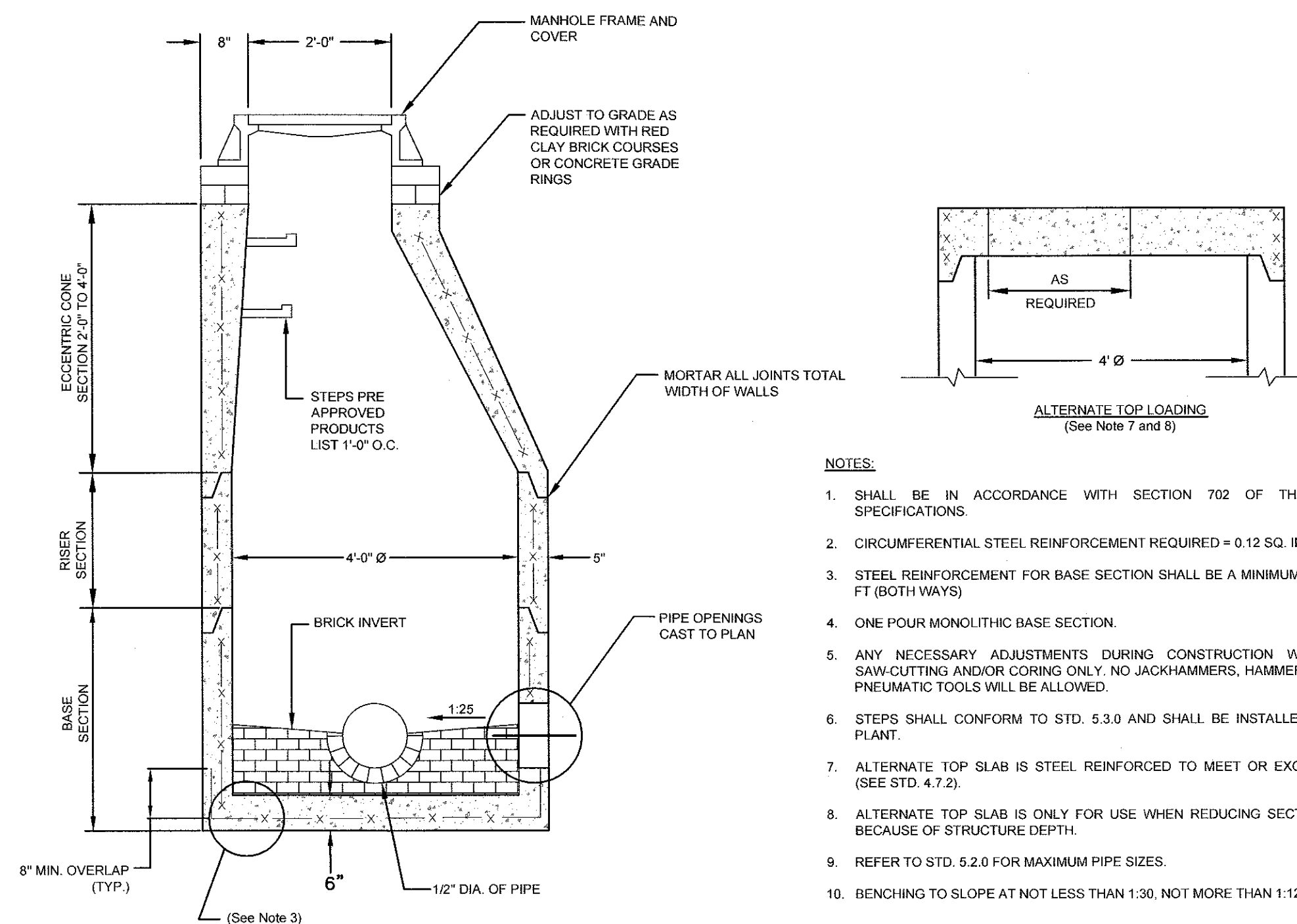
NOTE: IF LENGTH OR WIDTH EXCEEDS 8'-0" THEN "T" = 8", OTHERWISE "T" = 6"

TYPICAL EXTERIOR EQUIPMENT PAD SECTION
SCALE: NOT TO SCALE

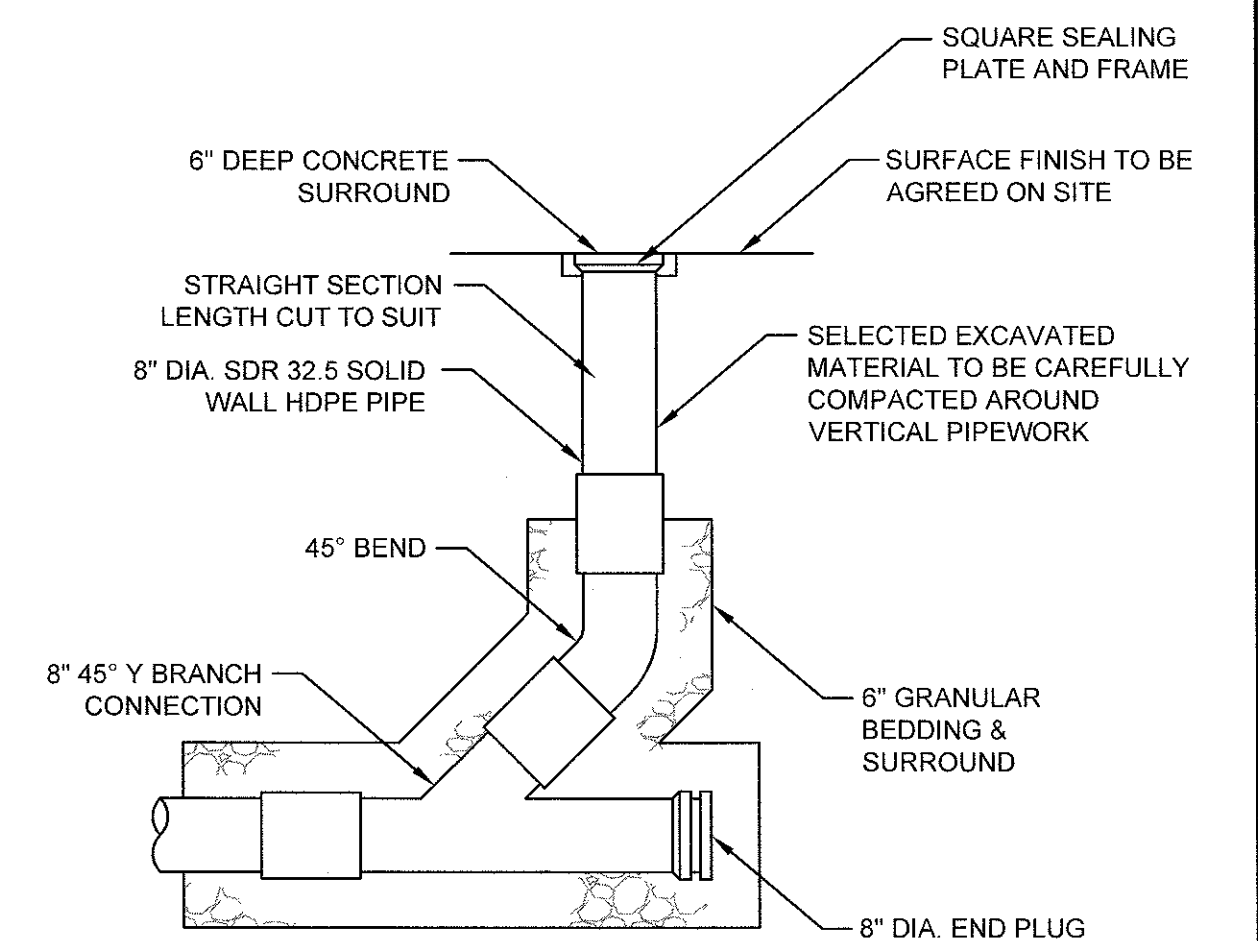
2	SUBMISSION REVISIONS	21JUN21	
1	SUBMISSION REVISIONS	21MAY21	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
Scale:	AS SHOWN	Date:	22APR21
Project Title:	"EAST POINT" MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVENUE EAST PROVIDENCE RHODE ISLAND		
Client/Owner:	NOBLE DEVELOPMENT, LLC 10 GREEN STREET PROVIDENCE, RI 02903		
Issued for:	PERMITTING		
Drawing Title:	PROPOSED DETAIL SHEET 4		
Drawing Number:	C-21		
Sheet	21 of 22		
Project Number:	20072.0		
Survey Index:			
<div><div><div><div><div><div>No.</div><div>9826</div></div><div><div>C-21-1</div><div>REGISTERED</div><div>PROFESSIONAL ENGINEER</div><div>CIVIL</div></div></div><div><div><div>JEREMY J. ROSA</div><div>REGISTERED</div><div>PROFESSIONAL ENGINEER</div><div>CIVIL</div></div></div></div><div>OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.</div></div></div>			



- NOTES:**
1. UNSUITABLE MATERIAL SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 12-INCHES BELOW THE DESIGN INVERT ELEVATION.
 2. TRENCH PROTECTION SHALL BE REQUIRED IN ACCORDANCE WITH OSHA REGULATIONS, AND AS OTHERWISE REQUIRED TO PROTECT UTILITIES, ROADWAYS, AND ADJACENT STRUCTURES.
 3. SEWER AND DRAIN PIPES SHALL BE LAID BEGINNING AT THE DOWNSTREAM END OF THE PIPE LINE.
 4. ALL PVC SEWER PIPES SHALL BE IPEX RING-TITE SDR 35, OR SIMILAR APPROVED.
 5. ALL DRAIN PIPES SHALL BE ADS N-12 TYPE IB (SOILTIGHT) UNLESS OTHERWISE INDICATED.
 6. ALL SEWER PIPE AND GASKETS SHALL CONFORM TO ASTM 3034 AND ASTM F679.
 7. ALL NEW SEWER MANHOLES SHALL HAVE KOR-N-SEAL CONNECTIONS, TYPICAL OR EQUAL.
 8. BACKFILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 12" IN HEIGHT WHEN INSTALLED UNDER LANDSCAPED AREAS ONLY. INSTALLATIONS UNDER PAVEMENT REQUIRE 6" LAYERS OF MATERIAL TO BE PLACED IN LAYERS NOT TO EXCEED 6" IN HEIGHT. THESE LAYERS SHALL BE COMPACTED TO 95% MAXIMUM DENSITY (ASHTO T180). SUITABLE BACKFILL SHALL BE FREE OF LOAM, CLAY, ORGANIC MATTER AND PARTICLES LARGER THAN 2 INCHES IN DIAMETER.
 9. SEWER AND DRAINAGE PIPE TRENCHES SHALL BE BEDDED WITH CRUSHED STONE OR SCREENED GRAVEL. THESE MATERIALS MUST CONFORM TO RIOT STANDARD M.01.09 TYPE II MATERIAL.
 10. WATER PIPE TRENCHES MUST BE BEDDED WITH SAND CONTAINING NO PARTICLES LARGER THAN 3/8". THIS MATERIAL MUST CONFORM TO AASHTO M6 REQUIREMENTS.
 11. UTILITY INSTALLATIONS SHALL CONFORM TO ALL REQUIREMENTS OF THE CITY OF EAST PROVIDENCE PUBLIC WORKS DEPARTMENT AND THE CITY ENGINEER.
 12. WHEN TRENCH EXCAVATION IS ADJACENT TO OR UNDER EXISTING STRUCTURES OR FACILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY SHEETING AND BRACING THE EXCAVATION AND STABILIZING THE EXISTING GROUND TO RENDER IT SAFE AND SECURE FROM POSSIBLE SLODES, CAVE-INS AND SETTLEMENT AND FOR PROPERLY UNDERPINNING TO FULLY PROTECT THEM FROM DAMAGE.

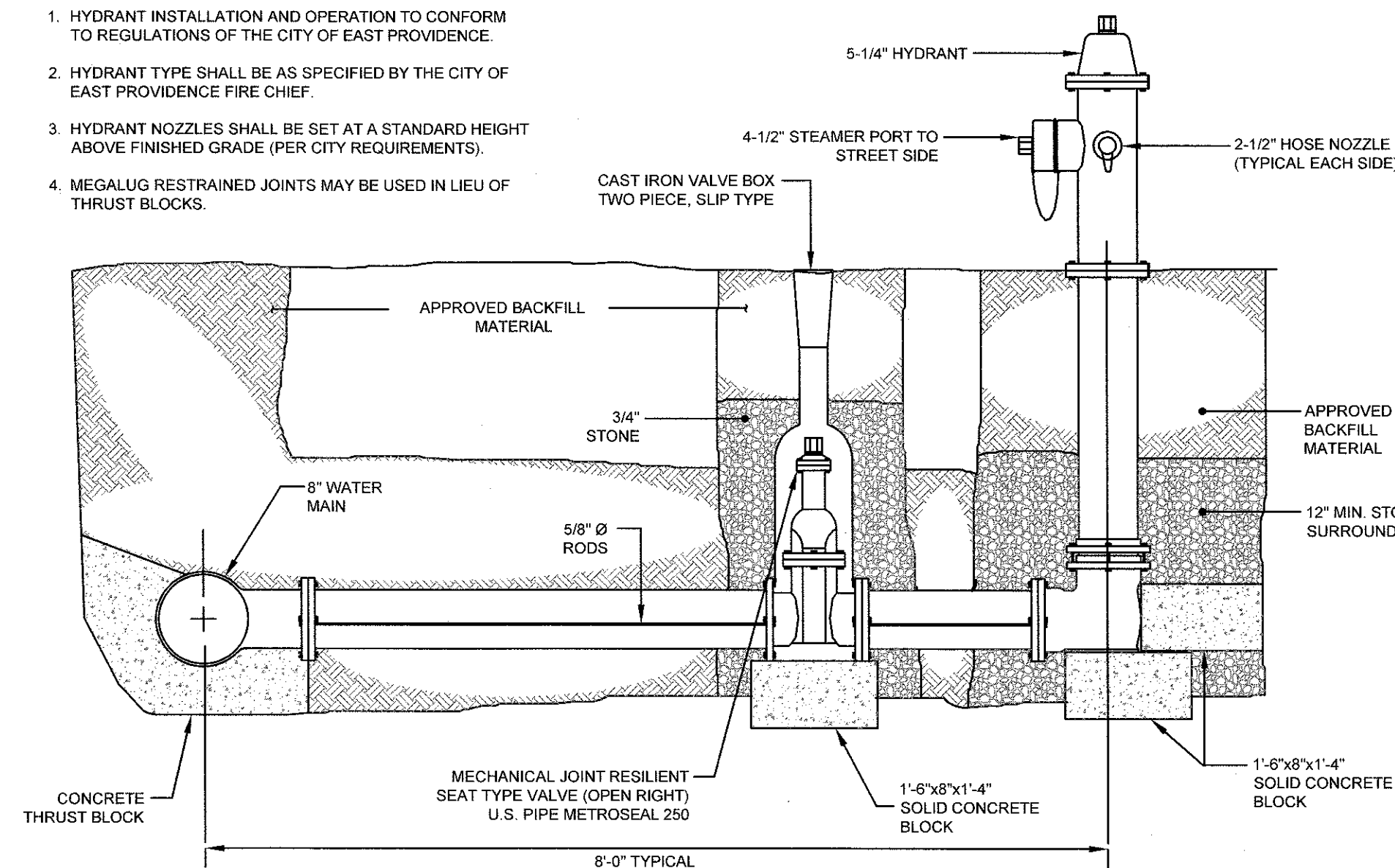


PRECAST SEWER MANHOLE DETAIL (RIDOT 4.2.0)
SCALE: NOT TO SCALE

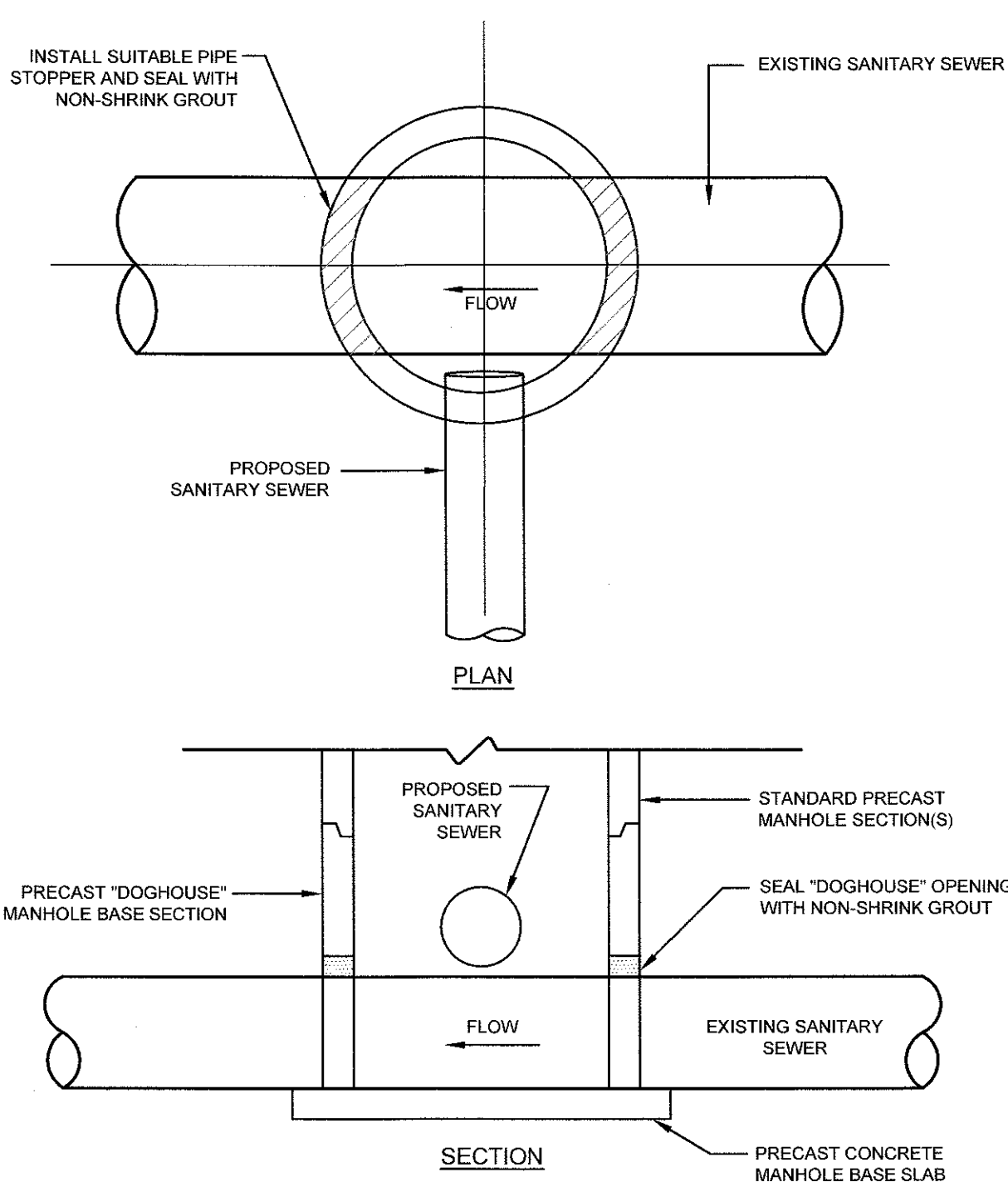


SEWER CLEANOUT DETAIL
SCALE: NOT TO SCALE

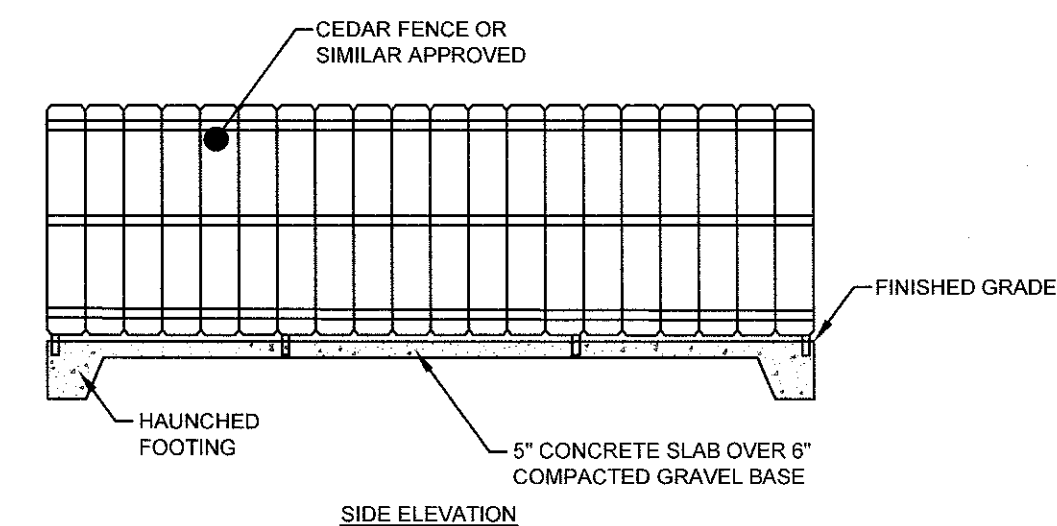
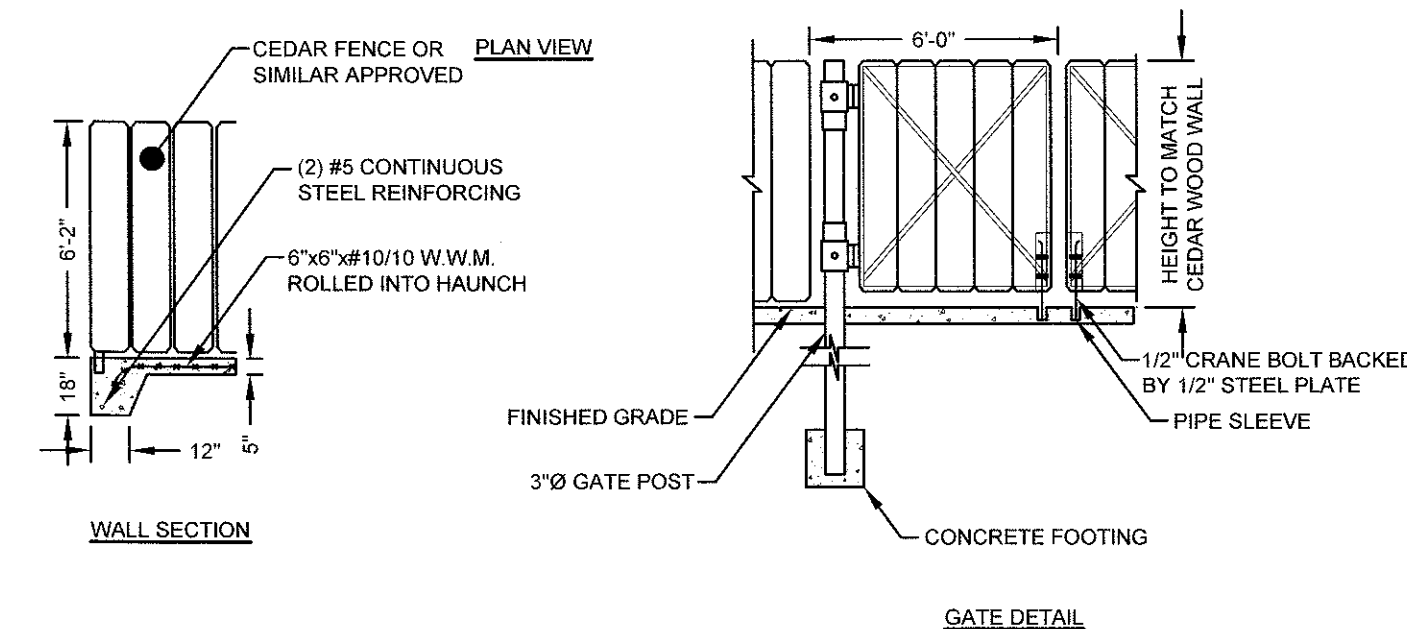
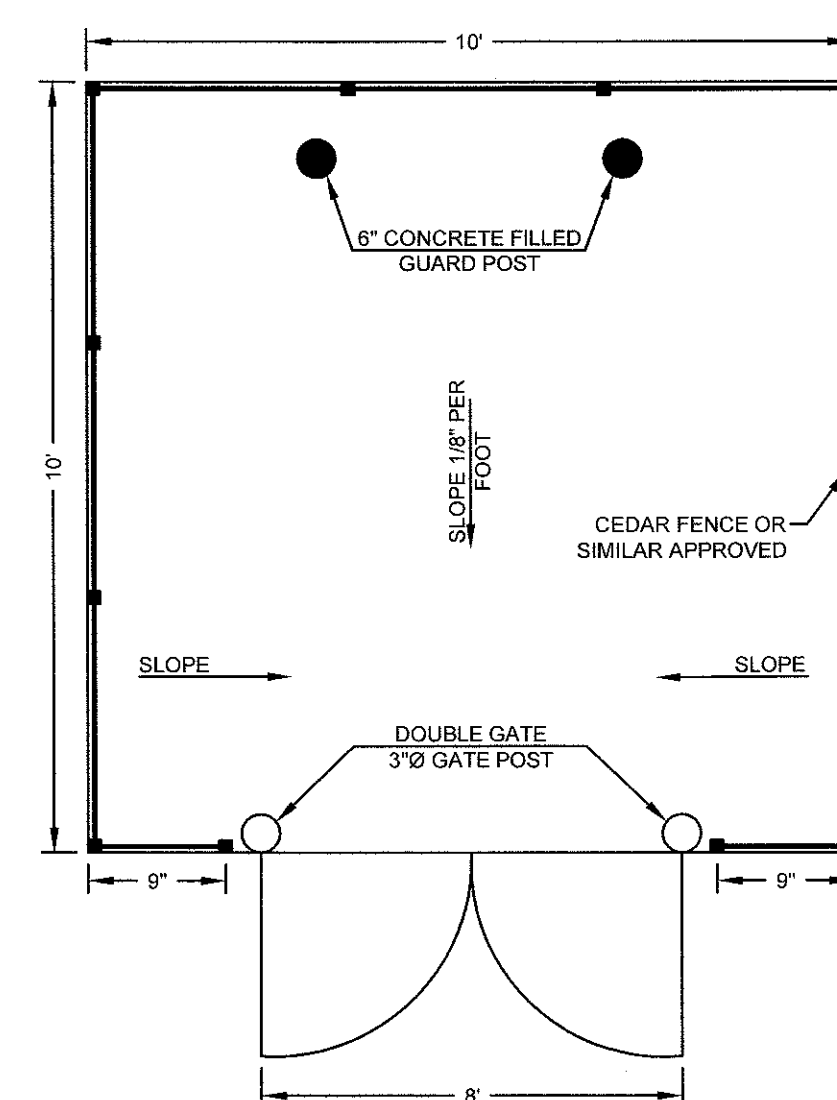
1. HYDRANT INSTALLATION AND OPERATION TO CONFORM TO REGULATIONS OF THE CITY OF EAST PROVIDENCE.
2. HYDRANT TYPE SHALL BE AS SPECIFIED BY THE CITY OF EAST PROVIDENCE FIRE CHIEF.
3. HYDRANT NOZZLES SHALL BE SET AT A STANDARD HEIGHT ABOVE FINISHED GRADE (PER CITY REQUIREMENTS).
4. MEGALUG RESTRAINED JOINTS MAY BE USED IN LIEU OF THRUST BLOCKS.



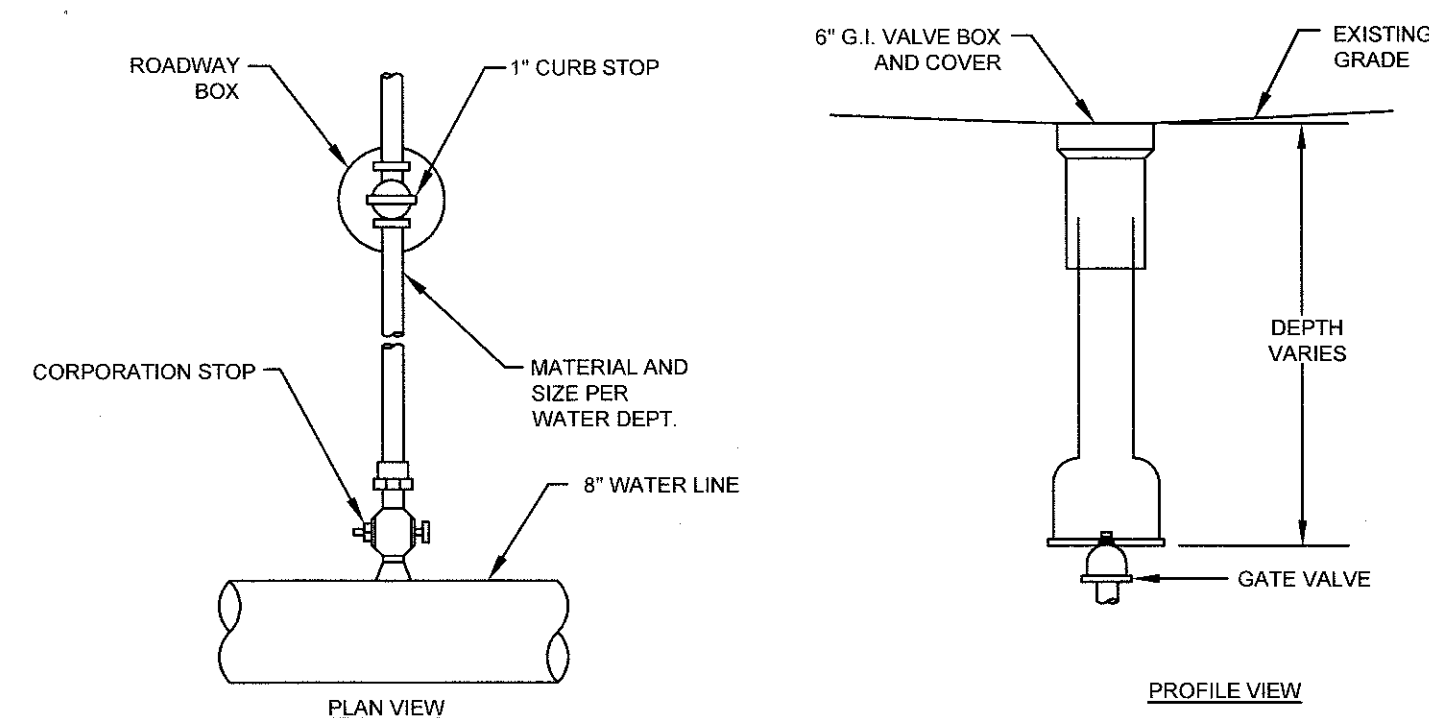
HYDRANT DETAIL
SCALE: NOT TO SCALE



DOGHOUSE MANHOLE
SCALE: NOT TO SCALE



TYPICAL TRASH ENCLOSURE
FINAL SIZING OF THE ENCLOSURES TO BE DETERMINE
ARCHITECT MAY PROVIDE ALTERNATE DESIGN
SCALE: NOT TO SCALE



WATER GATE VALVE/SERVICE CURB STOP
SCALE: NOT TO SCALE

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TRANSPORTATION
STRUCTURAL

2	SUBMISSION REVISIONS	21JUN21	
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No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	JJR
		Checked by:	GES
Scale:	AS SHOWN	Date:	22APR21
Project Title:			

"EAST POINT"
MAP 203 BLOCK 1 LOT 4
MAP 303 BLOCK 13 LOTS 4 & 5
ROGER WILLIAMS AVENUE
EAST PROVIDENCE
RHODE ISLAND

Client/Owner:

NOBLE DEVELOPMENT, LLC
10 GREEN STREET
PROVIDENCE, RI 02903

Issued for:

PERMITTING

Drawing Title:

PROPOSED
DETAIL SHEET 5

JEREMY J. ROSA

No. 9826

REGISTERED
PROFESSIONAL ENGINEER
CIVIL

C-2-2

Drawing Number:
C-22

Sheet **22** of **22**

Project Number:
20072.0

Survey Index:

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SURVEYOR'S CERTIFICATE

I hereby certify, to the U.S. Department of Housing and Urban Development (HUD), The City of East Providence, RI, and Mortgage Guarantees & Title Company that:

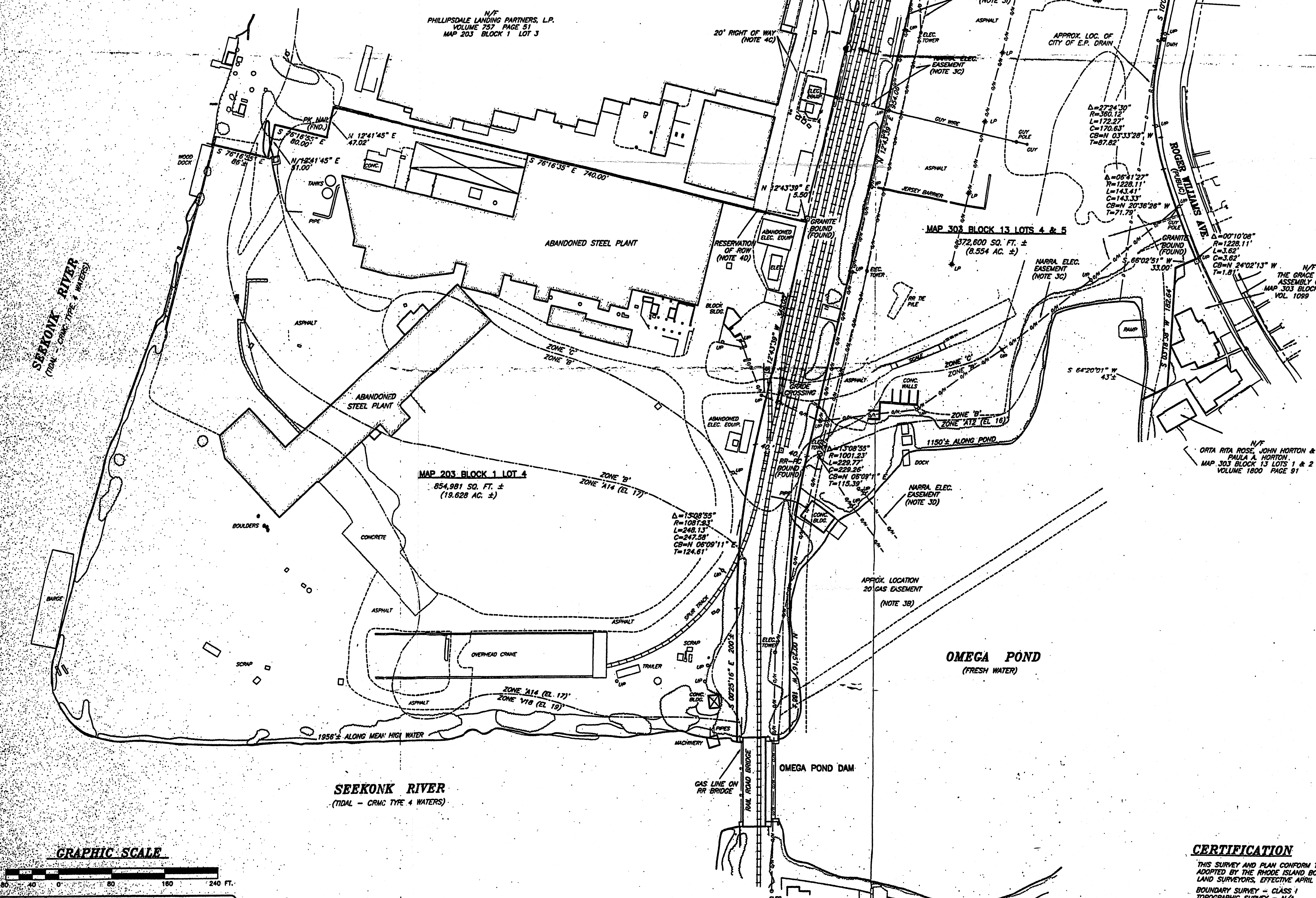
I made an on the ground survey per record description of the land shown hereon located in East Providence, RI in September, 2002, updated March 6, 2003 and August 12, 2003; and that it and this map was made in accordance with HUD Survey Instructions and Report, Form HUD-2457, and with the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes items 1-4, 6, 7(a), 8-10, 11(a) and 13-15 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS and ACSM and in effect on the date of this certification, the undersigned further certifies that the survey measurements were made in accordance with the Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys.

To the best of my knowledge, belief and information, except as shown hereon, there are no encroachments either way across property lines, title lines and lines of actual possession on the same, and the premises are subject to a 100/500 year return frequency flood hazard, and such flood condition is shown on the Federal Flood Insurance Rate Map, Community Panel No. 445398-0001 C.

LEGEND

N/F	- NOW OR FORMERLY	PK NAIL	- MASONRY NAIL
AC	- ASSESSORS PLAT	PED.	- PEDESTRIAN
OH	- DRILL HOLE	RHB	- RHODE ISLAND HIGHWAY BOUND
(FND.)	- FOUND	FE	- FLARED END
±	- PLUS OR MINUS	RCP	- REINFORCED CONCRETE PIPE
S.F.	- SQUARE FEET	X 10.8	- SPOT GRADE
○○○○	- STONE WALL	-	- EXISTING CONTOUR
—	- FENCE	INV.	- INVERT
STY.	- STORY	CB	- CATCH BASIN
—	- ACRES	—	- SANITARY SEWER MANHOLE
W/F	- WOOD FRAMED	—	- STORM DRAIN MANHOLE
SHP	- STATE HIGHWAY PLAT	—	- ELECTRIC HANDHOLE
R/W	- RETAINING WALL	—	- DROP INLET
—	- ZONING SETBACK LINE	—	- WATER GATE
—	- STRIP PIPE	—	- GAS GATE
—	- BOLLARD	—	- LIGHT POLE
—	- OVERHEAD WIRES	—	- UTILITY POLE
—	- STORM DRAIN	—	- GAS LINE

1837 8-15-03
RICHARD S. LIPSITZ REG. NO. DATE

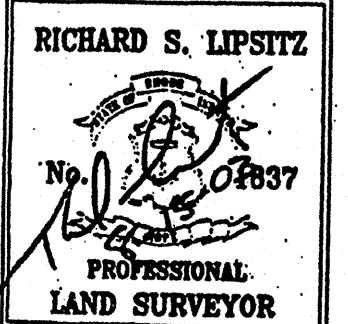


NOTES & REFERENCES

- REFERENCE IS MADE TO THE FOLLOWING MAPS & PLANS:
 - "PLAN OF ROGER WILLIAMS AVENUE FROM WILSON AVENUE TO PAWTUCKET AVENUE MADE FOR USE OF THE COMMITTEE, WALTER M. DEXTER, FRANCIS L. HILL AND ORLAND FREEBORN APPOINTED BY THE TOWN COUNCIL SCALE 50 FEET PER INCH OCT. 1898 W.M. DEXTER, ENG."
 - "PLAT OF LAND SOLD BY THE RUMFORD CHEMICAL WORKS TO THE RICHMOND PAPER COMPANY SCALE 100 FEET TO AN INCH APRIL, 1883 PLATTED BY S.B. CUSHING."
 - "PLAT OF LAND IN EAST PROVIDENCE OWNED IN PART BY FRANK A. SAYLES AND IN PART BY THE AGAWAM FINISHING COMPANY SCALE 40 FT TO AN INCH SURVEYED MAY, 1900 BY W.G.H. TEMPLE."
 - "PHILLIPSDALE PLAT EAST PROVIDENCE, RHODE ISLAND SCALE 80 FT TO AN INCH JULY 1927 BY WATERMAN ENGINEERING COMPANY."
 - "PLAN OF LAND IN EAST PROVIDENCE, R.I. BELONGING TO CARTER CORPORATION SCALE: 1"=80' MARCH, 1963 WATERMAN ENGINEERING COMPANY."
 - "PLAN SHOWING EXCHANGE OF LAND IN EAST PROVIDENCE, R.I. BETWEEN THE OKONITE COMPANY AND WASHBURN WIRE COMPANY MAY, 1960 SCALE: 1"=40' WATERMAN ENGINEERING COMPANY."
 - "SURVEY OF LAND BELONGING TO WASHBURN WIRE COMPANY EAST PROVIDENCE, RHODE ISLAND DECEMBER, 1975 PREPARED BY P.H. GUILMETTE INC."
 - "TOPOGRAPHIC SURVEY PLAN MAP 203 BLOCK 1 LOT 4 MAP 303 BLOCK 13 LOTS 4 & 5 ROGER WILLIAMS AVE. & BOURNE AVE. EAST PROVIDENCE, R.I. PREPARED FOR GEONOVA DEVELOPMENT COMPANY SCALE: 1"=40' 1 CI DATE: SEPT. 23, 2002 WATERMAN ENGINEERING COMPANY."
- REFERENCE IS MADE TO THE FOLLOWING CITY OF EAST PROVIDENCE, RHODE ISLAND LAND EVIDENCE RECORDS REGARDING RECORD TITLE TO THE PREMISES SURVEYED:
 - VOLUME 1429 PAGE 160 - PINAG AKTIENGESellschaft, APRIL 22, 1999
- THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
 - VOLUME 983 PAGE 100 - CONSERVATION RESTRICTION - B2 #3 (NOT PLOTTABLE)
 - VOLUME 256 PAGE 389 - 20' PROVIDENCE GAS COMPANY EASEMENT - B2 #8
 - VOLUME 268 PAGE 245 - NARRAGANSETT ELECTRIC COMPANY EASEMENT - B2 #12
 - VOLUME 285 PAGE 22 - NARRAGANSETT ELECTRIC COMPANY EASEMENT - B2 #13
 - VOLUME 176 PAGE 83 - TRENCH & WATER PIPELINE EASEMENT - B2 #14 (NOT PLOTTABLE)
 - RIGHTS OF OTHERS IN AND TO OMEGA POND AND / OR TEN MILE RIVER, SO CALLED - B2 #15
 - RIGHTS OF OTHERS TO DRAINAGE PIPES CROSSING THE PREMISES SURVEYED - B2 #18 (NOT PLOTTABLE)
 - RIGHTS OF OTHERS IN AND TO THE WATERS OF THE SEEKONK RIVER BELOW THE MEAN HIGH WATER LINE OR ANY FILLED LANDS BELOW THE PRIMITIVE MEAN HIGH WATER LINE OF THE SEEKONK RIVER - B2 #17
 - VOLUME 173 PAGE 378 - BLACKSTONE VALLEY SEWER DISTRICT COMMISSION EASEMENT - B2 #18
- THESE PREMISES MAY BE BENEFITED BY THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
 - VOLUME 20 PAGE 185 - RIGHT TO BUILD & MAINTAIN A FENCE ALONG THE RAIL ROAD ROW, TO PUT IN A "TURN CUT" AT THE STEEL WORKS ON THE WESTERLY SIDE OF THE RAIL ROW, THE RIGHT TO CONSTRUCT AND MAINTAIN A STONE DAM BETWEEN THE ABUTMENTS OF THE BRIDGE OVER THE TEN MILE RIVER & THE RIGHT TO CONSTRUCT, REPAIR & MAINTAIN A "WATER TRENCH" UNDER THE RAIL ROAD BETWEEN STATIONS 116 & 118 - B2 #1
 - VOLUME 20 PAGE 190 - RIGHT TO BUILD A WOOD DAM INSTEAD OF A STONE DAM AS REF. IN NOTE 4A - B2 #2
 - VOLUME 108 PAGE 450 - 20' ROW ACROSS LOT 3 - B2 #6
 - VOLUME 206 PAGE 336 - RESERVATION OVER A PORTION OF LAND CONVEYED TO LOT 3 - B2 #7
 - VOLUME 147 PAGE 71 - SANITARY SEWER EASEMENT - B2 #9
- THE PREMISES EASTERLY OF THE RAILROAD ARE SITUATED IN ZONES 'A12 (EL. 16), B & C' & THE PREMISES WESTERLY OF THE RAILROAD ARE SITUATED IN ZONES 'Y18 (EL. 19), A14 (EL. 17 & B' AS DEFINED ON: "NATIONAL FLOOD INSURANCE PROGRAM FIRM FLOOD INSURANCE RATE MAP CITY OF EAST PROVIDENCE, RHODE ISLAND PROVIDENCE COUNTY PANEL 1 OF 8 COMMUNITY PANEL NUMBER 445398-0001 C MAP REVISED: JUNE 1, 1986 FEDERAL EMERGENCY MANAGEMENT AGENCY."
- THESE PREMISES ARE SITUATED IN A '13' (INDUSTRIAL-HEAVY MANUFACTURING) ZONE.

DIMENSIONAL REQUIREMENTS			
MIN. LOT AREA	= 60,000 SF	REAR YARD S/B	= 20'
MIN. LOT WIDTH	= 200'	MAX. LOT COVERAGE	= 60%
MIN. LOT DEPTH	= 250'	MAX. BLDG. HGT.	= 40'
FRONT YARD S/B	= 30'		
SIDE YARD S/B	= 20'		

NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.
- THE UTILITIES SHOWN HEREON ARE FROM INFORMATION OBTAINED FROM UTILITY COMPANIES AND MUNICIPAL DEPTS., SUPPLEMENTED BY FIELD LOCATIONS OF VISIBLE STRUCTURES. THERE MAY BE OTHER UTILITIES PRESENT ON THE SITE THAT ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL UTILITY LOCATIONS AND MUST NOTIFY "DIG-SAFE" PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION COMMENCING.



CERTIFICATION

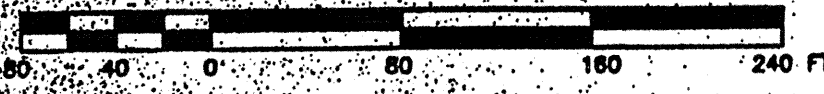
THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING CLASS STANDARDS AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS, EFFECTIVE APRIL 1, 1994.

BOUNDARY SURVEY - CLASS 1
TOPOGRAPHIC SURVEY - N/A

1837 8-15-03
RICHARD S. LIPSITZ REG. NO. DATE
WATERMAN ENGINEERING COMPANY

2	8/12/03	SURVEY UPDATE, HUD CERTIFICATION ADDED	RSL
1	3/6/03	NOTES 3 & 4, ROW, EASEMENTS, ETC. ADDED	RSL
NO.	DATE	REVISION	BY
BOUNDARY SURVEY PLAN MAP 203 - BLOCK 1 - LOT 4 MAP 303 - BLOCK 13 - LOTS 4 & 5 ROGER WILLIAMS AVE & BOURNE AVE. - EAST PROVIDENCE, RI PREPARED FOR: GEONOVA DEVELOPMENT COMPANY 1114 AVENUE OF THE AMERICAS - NEW YORK, NEW YORK 10036			
PROJECT NO. 102.104			SCALE 1"=80'
DATE SEPT. 23, 2002			DRAWN BY RSL
CHECKED BY LRS			FILENAME 02104a1.dwg
WATERMAN ENGINEERING CO. CIVIL ENGINEERS - SURVEYORS EAST PROVIDENCE RHODE ISLAND			
1 of 1 SHEETS			

GRAPHIC SCALE



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