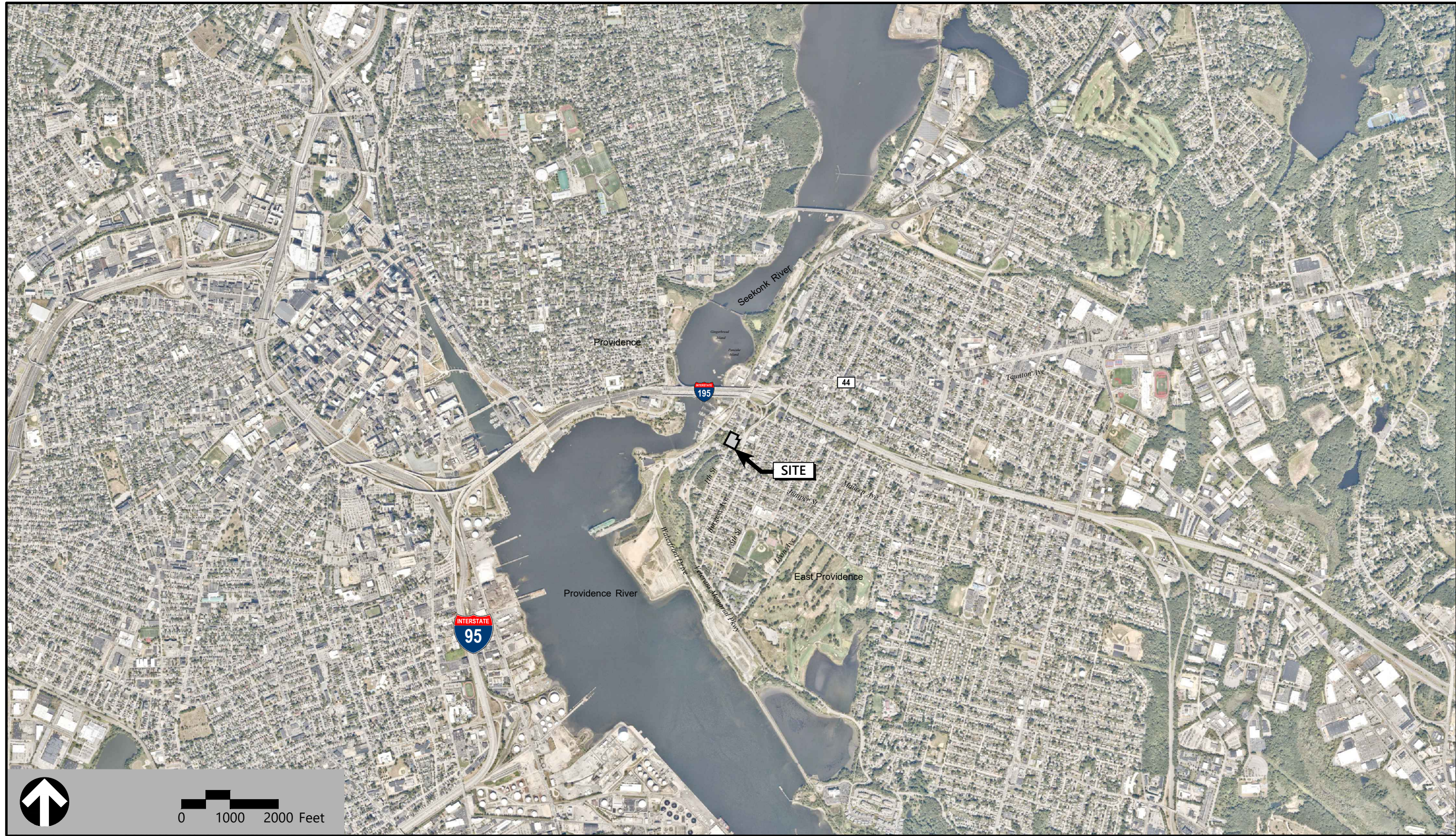


Site Plans

Issued for	Permitting
Date Issued	January 28, 2026
Latest Issue	May 15, 2026

First Street Substation No. 1202

51 First Street
East Providence
RI 02914



Owner/Applicant

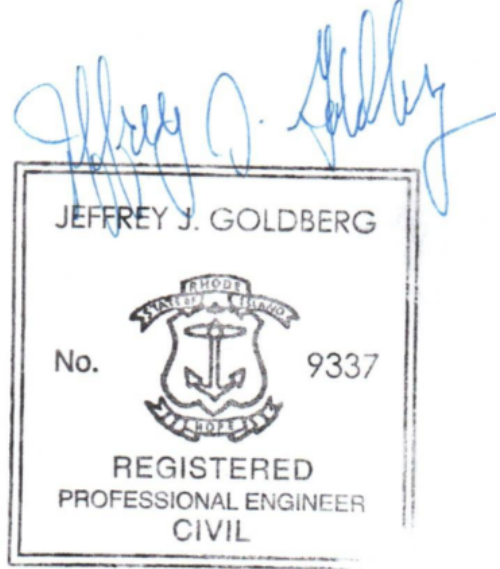
The Narragansett Electric Company
280 Melrose Street
Providence, RI 02907

Sheet Index		
No.	Drawing Title	Latest Issue
C1.01	Legend and General Notes	January 28, 2026
C2.01	Site Plan	January 28, 2026
C3.01	Grading and Drainage Plan	January 28, 2026
C4.01	Erosion Control Plan	January 28, 2026
C5.01	Site Details	January 28, 2026
C6.01	Landscape Plan	May 15, 2026

Reference Drawings		
No.	Drawing Title	Latest Issue
1	Existing Conditions Survey	August 15, 2018

EAST PROVIDENCE
Assessor's Map: 16
Lot: 6

STREET INDEX: FIRST STREET, MAURAN AVENUE & TEOFILO BRAGA WAY		
PLANNING BOARD CERTIFICATION		
I DO HEREBY CERTIFY THIS SUBDIVISION PLAT HAS MET THE REQUIREMENTS OF THE EAST PROVIDENCE LAND DEVELOPMENT & SUBDIVISION REVIEW RULES & IS NOW ELIGIBLE FOR RECORDING.		
_____ PLANNING BOARD CHAIRPERSON		_____ DATE
ZONING CERTIFICATION		
I DO HEREBY CERTIFY THAT THE LOTS SHOWN ON THE SUBDIVISION PLAT MEET THE SCHEDULE OF AREA & OTHER DIMENSIONAL PROVISIONS OF CHAPTER 19, ZONING OF THE REVISED ORDINANCES OF EAST PROVIDENCE.		
_____ ZONING OFFICER	_____ DATE	_____ RECORDING CERTIFICATION



05/15/2016



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

Legend

Exist.			Prop.		
		PROPERTY LINE			CONCRETE
		PROJECT LIMIT LINE			HEAVY DUTY PAVEMENT
		RIGHT-OF-WAY/PROPERTY LINE			BUILDINGS
		EASEMENT			RIPRAP
		BUILDING SETBACK			CONSTRUCTION EXIT
		PARKING SETBACK			
		BASELINE	27.35 TC x	27.35 TC x	TOP OF CURB ELEVATION
		CONSTRUCTION LAYOUT	26.85 BC x	26.85 BC x	BOTTOM OF CURB ELEVATION
		ZONING LINE	132.75 x	132.75 x	SPOT ELEVATION
		TOWN LINE	45.0 TW x	45.0 TW x	TOP & BOTTOM OF WALL ELEVATION
			38.5 BW	38.5 BW	BORING LOCATION
					TEST PIT LOCATION
					MONITORING WELL
		LIMIT OF DISTURBANCE			UNDERDRAIN
		WETLAND LINE WITH FLAG			DRAIN
		FLOODPLAIN			ROOF DRAIN
		BORDERING LAND SUBJECT TO FLOODING			SEWER
		WETLAND BUFFER ZONE			FORCE MAIN
		NO DISTURB ZONE			OVERHEAD WIRE
		200' RIVERFRONT AREA			OVERHEAD SHIELD WIRE
					WATER
		GRAVEL ROAD			FIRE PROTECTION
		EDGE OF PAVEMENT			DOMESTIC WATER
		BITUMINOUS BERM			GAS
		BITUMINOUS CURB			ELECTRIC
		CONCRETE CURB			STEAM
		CURB AND GUTTER			TELEPHONE
		EXTRUDED CONCRETE CURB			FIRE ALARM
		MONOLITHIC CONCRETE CURB			CABLE TV
		PRECAST CONC. CURB			
		SLOPED GRAN. EDGING			CATCH BASIN CONCENTRIC
		VERT. GRAN. CURB			CATCH BASIN ECCENTRIC
		LIMIT OF CURB TYPE			DOUBLE CATCH BASIN CONCENTRIC
		SAWCUT			DOUBLE CATCH BASIN ECCENTRIC
					GUTTER INLET
		BUILDING			DRAIN MANHOLE CONCENTRIC
		BUILDING ENTRANCE			DRAIN MANHOLE ECCENTRIC
		LOADING DOCK			TRENCH DRAIN
		BOLLARD			PLUG OR CAP
		DUMPSTER PAD			CLEANOUT
		SIGN			FLARED END SECTION
		DOUBLE SIGN			HEADWALL
		STEEL GUARDRAIL			SEWER MANHOLE CONCENTRIC
		WOOD GUARDRAIL			SEWER MANHOLE ECCENTRIC
		PATH			CURB STOP & BOX
		TREE LINE			WATER VALVE & BOX
		SECURITY FENCE WITH BARBED WIRE			TAPPING SLEEVE, VALVE & BOX
		FENCE			FIRE DEPARTMENT CONNECTION
		STOCKADE FENCE			FIRE HYDRANT
		STONE WALL			WATER METER
		RETAINING WALL			POST INDICATOR VALVE
		STREAM / POND / WATER COURSE			WATER WELL
		DETENTION BASIN			
		HAY BALES			GAS GATE
		SILT SOCK / STRAW WATTLE			GAS METER
		MINOR CONTOUR			ELECTRIC MANHOLE
		MAJOR CONTOUR			ELECTRIC METER
					LIGHT POLE
		PARKING COUNT			TELEPHONE MANHOLE
		COMPACT PARKING STALLS			TRANSFORMER PAD
		DOUBLE YELLOW LINE			UTILITY POLE
		STOP LINE			GUY POLE
		CROSSWALK			GUY WIRE & ANCHOR
		ACCESSIBLE CURB RAMP			HAND HOLE
		ACCESSIBLE PARKING			PULL BOX
		VAN-ACCESSIBLE PARKING			

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EV	ELECTRIC VEHICLE CHARGING SPACE
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

General Notes

1. WORK TO BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS SP.08.00.001, "STANDARD CONSTRUCTION SPECIFICATIONS FOR ELECTRIC SUBSTATIONS."
2. STOCKPILE ALL STRIPPED & EXCAVATED MATERIAL IN AN ACCESSIBLE LOCATION FOR USE IN LANDSCAPING SITE. STOCKPILE LOCATIONS TO BE APPROVED BY ENVIRONMENTAL ENGINEER.
3. ALL FENCING SHALL CONFORM TO LATEST EDITION OF THE NARRAGANSETT ELECTRIC COMPANY SPECIFICATION SP.03.05.001 FENCE TO BE 8'-0" HIGH CHAIN LINK FABRIC TOPPED BY 3 STRANDS OF BARBED WIRE SLOPING OUTWARD UNLESS NOTED OTHERWISE.
4. ALL DISTURBED AREAS & SIDES LOPES TO BE LOAMED & SEEDDED UNLESS NOTED.
5. SUBSTATION YARD WITHIN FENCED AREA TO BE SURFACED WITH 6" OF CRUSHED STONE (1-7/8").
6. CONTRACTOR TO VERIFY EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
7. CONTRACTOR TO VERIFY EXISTING CONTOURS AND CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
8. BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING GRADES.
9. CONTRACTOR TO CALL DIG-SAFE AT 811 PRIOR TO START OF CONSTRUCTION.
10. AT LOCATIONS WHERE NEW CONSTRUCTION ABUTS EXISTING PAVEMENT, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT. NEW PAVEMENT SHALL MATCH EVENLY INTO SAWCUT PAVEMENT.

Reference Notes

1. SURVEY INFORMATION SHOWN WAS TAKEN FROM PLAN ENTITLED, "EXISTING CONDITIONS SURVEY", PREPARED BY GAROFALO & ASSOCIATES, INC., OF PROVIDENCE, RI, DATED AUG. 15, 2018.
2. HORIZONTAL DATUM REFERENCES THE RHODE ISLAND STATE PLANE COORDINATE SYSTEM NAD83.
3. VERTICAL DATUM OF NAVD88.
4. REFER TO GEOTECHNICAL REPORT BY GZA DATED JAN. 3, 2025 FOR BORING AND TEST PIT DATA.

Utility

CB	CATCH BASIN
CM	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
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STREET INDEX: FIRST STREET, MAURAN AVENUE & TEOFILO BRAGA WAY		
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_____ ZONING OFFICER		_____ DATE
_____ RECORDING CERTIFICATION		

Drawing Number

C1.01

Sheet 2 of 7

Project Number
73459.00

FIRST STREET NO. 1202 SUBSTATION

51 First Street
East Providence, Rhode Island

No.	Revision	Date	Apprvd.

Designed by ER	Checked by KC
Issued for	Date
Permitting	January 28, 2026

Legend and General Notes

Drawing Number

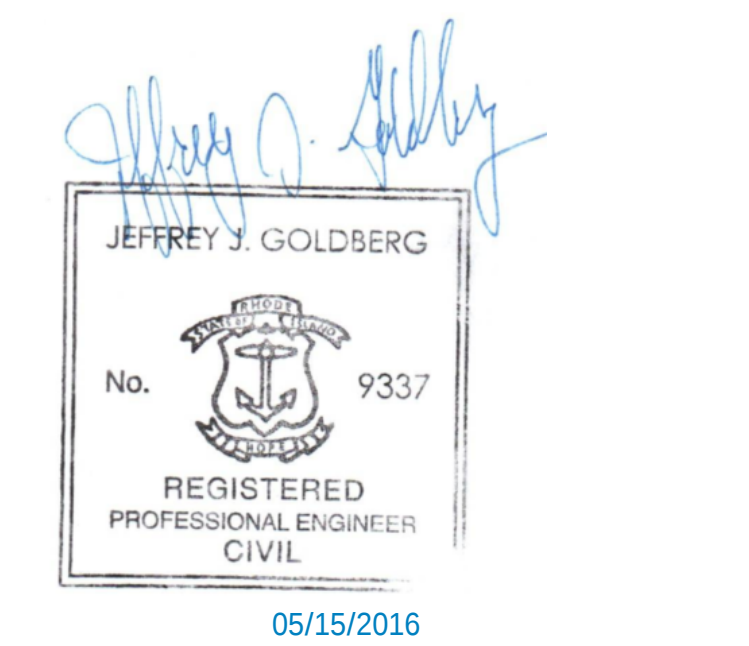
C1.01

Sheet 2 of 7

Project Number
73459.00



Scale: 1" = 1000'



05/15/2016

REFERENCE DRAWINGS

ULTIMATE LAYOUT RI00100749



51 First Street
East Providence, Rhode Island

[illegible]

Drawing Title

Site Plan

Drawing Number

C2.01

Sheet 3 of 7

Project Number
73459.00

Zoning Summary Chart

Zoning District(S):	WATERFRONT DISTRICT		
Subdistrict(S):	BOLD POINT HARBOR		
Zoning Regulation Requirements	Required*	Existing	Proposed
MINIMUM LOT AREA	0.0 Acres	1.3 Acres	1.3 Acres
FRONTAGE	100.0 Feet	280.8 Feet	280.8 Feet
FRONT YARD SETBACK BUILDING	0 Feet	0 Feet	69 Feet
FRONT YARD SETBACK FENCE	0 Feet	0 Feet	0 Feet
INTERIOR SIDE SETBACK BUILDING	0 Feet	10 Feet	38 Feet
INTERIOR SIDE SETBACK FENCE	0 Feet	0 Feet	0 Feet
REAR SETBACK BUILDING	0 Feet	0 Feet	93 Feet
REAR SETBACK FENCE	0 Feet	3 Feet	3 Feet
MINIMUM LOT WIDTH	0 Feet	281 Feet	281 Feet
MAXIMUM BUILDING HEIGHT	3 STORIES	0 Feet	13 Feet
MAXIMUM BUILDING COVERAGE	70.0 %	0.0 %	1.6 %
FENCE HEIGHT (MAXIMUM)	10 Feet	6 Feet	6 Feet

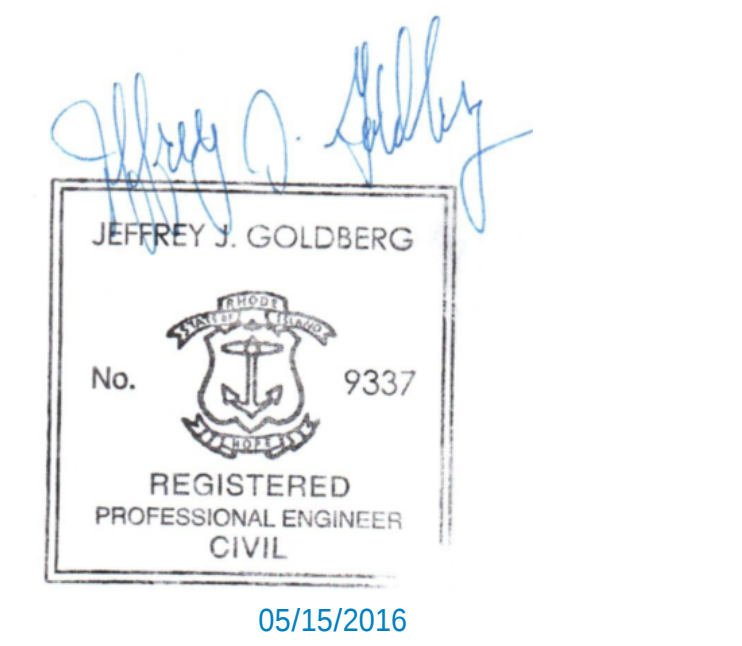
* Zoning regulation requirements as specified in City of East Providence Zoning Ordinance Chapter: Ordinance No. 933, enacted January 7, 2025, (Supp. No. 87)

Alignment Curve Data

Curve #	T	Δ	Radius	Length
C14	20.01	090° 01' 49"	20.00	31.43

PROPOSED STREETScape FINISHES
 3,380 SF BITUMINOUS CONCRETE BIKE PATH
 940 SF CEMENT CONCRETE SIDEWALK
 1,435 SF 4" PINE BARK MULCH BUFFER STRIP
 485 LF GRANITE CURBING (6" REVEAL)

APPROXIMATE AREA OF BITUMINOUS
CONCRETE IN FIRST STREET TO BE
REMOVED AND REPLACED TO CREATE
POSITIVE DRAINAGE AND PREVENT
ANTICIPATED PONDING (ACTUAL AREA



Designed by ER	Checked by KC
Issued for	Date
Permitting	January 28, 2026

Drawing Title

Grading, Drainage, and Utilities Plan

Drawing Number

C3.01

Erosion Control Maintenance Requirements

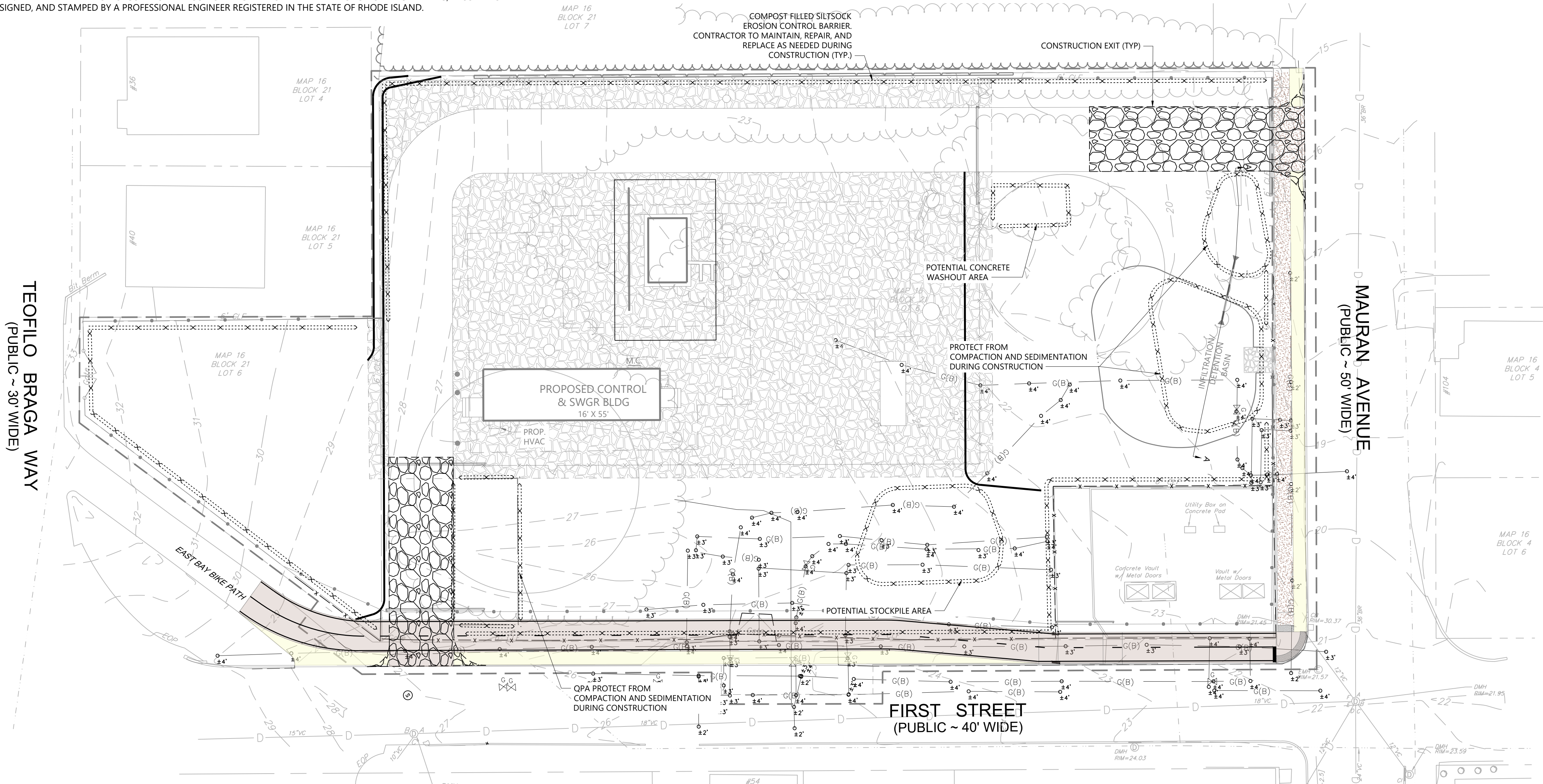
SITE OWNERS AND OPERATORS MUST ENSURE THAT ALL EROSION, RUNOFF, SEDIMENT, AND POLLUTION PREVENTION CONTROLS REMAIN IN EFFECTIVE OPERATING CONDITION AND ARE PROTECTED FROM ACTIVITIES THAT WOULD REDUCE THEIR EFFECTIVENESS. SITE OWNERS AND OPERATORS MUST ALSO ENSURE THAT ALL EROSION, RUNOFF, SEDIMENT, AND POLLUTION PREVENTION CONTROLS ARE INSPECTED AT THE REQUIRED FREQUENCY REQUIREMENTS LISTED BELOW. IF THE DESIGNATED SITE INSPECTOR FINDS A PROBLEM (I.E. EROSION, RUNOFF, SEDIMENT OR POLLUTION PREVENTION CONTROLS REQUIRE REPLACEMENT, REPAIR, OR MAINTENANCE), THE OWNER AND OPERATOR MUST ENSURE THAT THE NECESSARY REPAIRS OR MODIFICATIONS ARE MADE IN ACCORDANCE WITH THE FOLLOWING:

- INITIATE WORK TO FIX THE PROBLEM IMMEDIATELY AFTER DISCOVERING THE PROBLEM, AND COMPLETE SUCH WORK BY THE CLOSE OF THE NEXT WORK DAY, IF THE PROBLEM DOES NOT REQUIRE SIGNIFICANT REPAIR OR REPLACEMENT, OR IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE.
- WHEN INSTALLATION OF A NEW CONTROL OR A SIGNIFICANT REPAIR IS NEEDED, SITE OWNERS AND OPERATORS MUST ENSURE THAT THE NEW OR MODIFIED CONTROL PRACTICE IS INSTALLED AND MADE OPERATIONAL BY NO LATER THAN SEVEN (7) CALENDAR DAYS FROM THE TIME OF DISCOVERY WHERE FEASIBLE. IF IT IS INFEASIBLE TO COMPLETE THE INSTALLATION OR REPAIR WITHIN SEVEN (7) CALENDAR DAYS, THE REASONS WHY IT IS INFEASIBLE MUST BE DOCUMENTED IN THE SESC PLAN ALONG WITH THE SCHEDULE FOR INSTALLING THE STORMWATER CONTROL(S) AND MAKING IT OPERATIONAL AS SOON AS PRACTICABLE AFTER THE 7-DAY TIMEFRAME. WHERE THESE ACTIONS RESULT IN CHANGES TO ANY OF THE STORMWATER CONTROL MEASURES OUTLINED IN THE SESC PLAN, SITE OWNERS AND OPERATORS MUST MODIFY THE SESC PLAN ACCORDINGLY WITHIN SEVEN (7) CALENDAR DAYS OF COMPLETING THIS WORK IN ACCORDANCE WITH THE FOLLOWING:
 - THE OWNER AND OPERATOR SHALL AMEND THE SESC PLAN WITHIN SEVEN (7) DAYS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE OR OTHER PROCEDURE WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS, OR IF THE SESC PLAN PROVES TO BE INEFFECTIVE IN ACHIEVING ITS OBJECTIVES. IN ADDITION, THE SESC PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW OPERATOR THAT WILL IMPLEMENT A COMPONENT OF THE SESC PLAN. THE AMENDED SESC PLAN MUST BE KEPT ON FILE AT THE CONSTRUCTION SITE AND ANY SESC PLAN MODIFICATIONS MUST BE DOCUMENTED. ANY AMENDMENTS TO CONTROL MEASURES WHICH INVOLVED THE PRACTICE OF ENGINEERING, MUST FIRST BE REVIEWED, SIGNED, AND STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND.

- IF CORRECTIVE ACTIONS ARE REQUIRED, THE SITE OWNER AND OPERATOR MUST ENSURE THAT ALL CORRECTIVE ACTIONS ARE DOCUMENTED ON THE INSPECTION REPORT IN WHICH THE PROBLEM WAS FIRST DISCOVERED. THESE CORRECTIVE ACTIONS MUST BE DOCUMENTED, SIGNED, AND DATED BY THE SITE OPERATOR ONCE ALL NECESSARY REPAIRS HAVE BEEN COMPLETED.
- SOIL EROSION AND SEDIMENT CONTROL INSPECTION REQUIREMENTS
MINIMUM FREQUENCY - EACH OF THE FOLLOWING AREAS MUST BE INSPECTED BY OR UNDER THE SUPERVISION OF THE OWNER AND OPERATOR AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY FOUR (24) HOURS AFTER ANY STORM EVENT WHICH GENERATES AT LEAST 0.25 INCHES OF RAINFALL PER TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF:
 - ALL AREAS THAT HAVE BEEN CLEARED, GRADED, OR EXCAVATED AND THAT HAVE NOT YET COMPLETED STABILIZATION;
 - ALL STORMWATER EROSION, RUNOFF, AND SEDIMENT CONTROL MEASURES (INCLUDING POLLUTION PREVENTION PRACTICES) INSTALLED AT THE SITE TO COMPLY WITH THIS PERMIT;
 - CONSTRUCTION MATERIAL, UNSTABILIZED SOIL STOCKPILES, WASTE, BORROW, OR EQUIPMENT STORAGE, AND MAINTENANCE AREAS THAT ARE COVERED BY THIS PERMIT AND ARE EXPOSED TO PRECIPITATION;
 - ALL AREAS WHERE STORMWATER TYPICALLY FLOWS WITHIN THE SITE, INCLUDING TEMPORARY DRAINAGE WAYS DESIGNED TO DIVERT, CONVEY, AND/OR TREAT STORMWATER;
 - ALL POINTS OF DISCHARGE FROM THE SITE;
 - ALL LOCATIONS WHERE TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES HAVE BEEN IMPLEMENTED.
 - ALL LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.

General

- IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
- CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
- CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE RIPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND RIDEM JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A NOTICE OF INTENT WITH THE RIDEM AND PREPARE AND MAINTAIN A SOIL EROSION AND SEDIMENTATION PLAN IN ACCORDANCE WITH THE RIPDES REGULATIONS.
- STAGING AND STOCKPILE AREAS SHALL NOT BE LOCATED WITHIN ANY WETLAND AND ABUTTING RESOURCE AREA AND SHALL BE LOCATED WITHIN THE LOD.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND INSTALLING THE FOLLOWING ITEMS ON SITE AND REDLINING THE PLAN FOR RECORD KEEPING PURPOSES AS REQUIRED BY THE RIPDES PERMIT:
 - BUILDING MATERIALS STAGING AREAS
 - STOCKPILE AREAS. EROSION CONTROLS SHALL BE PLACED AT THE BASE OF ALL STOCKPILES
 - DESIGNATED WASHOUT AND REFUELING AREAS.
 - TEMPORARY SEDIMENT BASIN AREAS.



Erosion Control

- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
- CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES DAILY, AND REMOVE SEDIMENT THEREFROM ON A WEEKLY BASIS AND WITHIN TWELVE HOURS AFTER EACH STORM EVENT AND DISPOSE OF SEDIMENTS IN AN UPLAND AREA SUCH THAT THEY DO NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
- CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
- CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
- UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.
- A CROSS SLOPE SHALL BE PLACED ON THE STABILIZED CONSTRUCTION EXIT TO DIRECT RUNOFF TO AN ONSITE SETTLING AREA. IF DEEMED NECESSARY AFTER CONSTRUCTION BEGINS, A WASH PAD MAY BE INCLUDED TO WASH OFF VEHICLE WHEELS BEFORE LEAVING THE PROJECT SITE.
- VEGETATIVE SLOPE STABILIZATION WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR STEEPER. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SODDING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.

- STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATION OR OTHER EARTH DISTURBANCE ACTIVITIES ARE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT BE RESUMED FOR A PERIOD EXCEEDING FOURTEEN (14) CALENDAR DAYS. STABILIZATION MUST BE COMPLETED USING VEGETATIVE STABILIZATION MEASURES WHERE POSSIBLE.
- ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15TH SHALL BE SEEDED BY THAT DATE. ANY SUCH AREAS WHICH DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION BY NOVEMBER 15TH MUST BE STABILIZED THROUGH THE USE OF NON-VEGETATIVE EROSION CONTROL MEASURES. IF WORK CONTINUES WITHIN ANY OF THESE AREAS DURING THE PERIOD FROM OCTOBER 15TH TO APRIL 15TH CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THE DAY'S WORK IS EXPOSED, AND ALL ERODIBLE SOIL MUST BE STABILIZED WITHIN FIVE (5) WORKING DAYS.
- THE SOIL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) CONTAINED ON THE SITE DRAWINGS ARE THE MINIMUM REQUIRED BY THE RHODE ISLAND POLLUTION DISCHARGE ELIMINATION SYSTEM (RIDDES) PROGRAM. THE CONTRACTOR IS REQUIRED TO PROVIDE ADDITIONAL BMPs TO PREVENT POLLUTION FROM STORM WATER DISCHARGES LEAVING THE WORK SITE OR ENTERING WETLANDS IN COMPLIANCE WITH THE RIDDES GENERAL PERMIT AND ALL OTHER LOCAL, STATE AND FEDERAL REQUIREMENTS.

Infiltration Basin Protection During Construction

FOR THE LONG-TERM FUNCTION OF THE INFILTRATION SYSTEM CARE MUST BE TAKEN IN THESE AREAS DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

- THESE AREAS SHALL NOT BE USED AS CONSTRUCTION SEDIMENTATION SYSTEMS.
- INITIAL BASIN EXCAVATION SHOULD BE CARRIED TO WITHIN 1 FOOT OF THE FINAL ELEVATION OF THE BASIN FLOOR. FINAL EXCAVATION SHOULD BE DEFERRED UNTIL ALL DISTURBED AREAS CONTRIBUTING TO THE BASIN HAVE BEEN STABILIZED OR PROTECTED. PRIOR TO FINAL EXCAVATION, REMOVE ALL ACCUMULATED SEDIMENT.
- EXCAVATION FOR CONSTRUCTION OF THESE SYSTEMS SHALL BE PERFORMED MANUALLY OR BY LIGHT-TRACKED EQUIPMENT TO AVOID COMPACTION OF THE BASIN FLOOR.
- THE SUBGRADE SHALL BE TILLED TO RESTORE THE INFILTRATION CAPABILITY OF THE SUBGRADE PRIOR TO PLACING STONE.

Qualified Pervious Area (QPA) Protection During Construction

FOR THE LONG-TERM FUNCTION OF THE QUALIFIED PERVIOUS AREAS CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

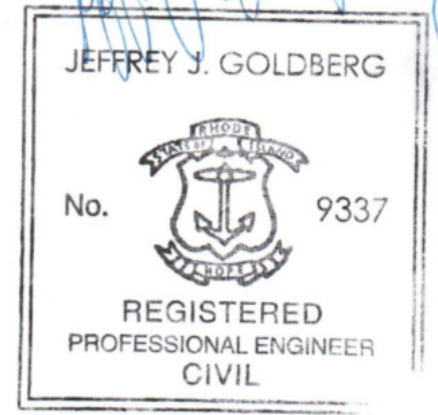
- CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE AREAS. IF IT BECOMES COMPACTED, THE SOIL MUST BE SUITABLY AMENDED, TILLED, AND RE-VEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.
- THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AROUND THE PERIMETER OF THE SYSTEMS TO PREVENT THE USE OF THESE AREAS FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES. THE FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

STREET INDEX: FIRST STREET, MAUBAN AVENUE & TEOFILO BRAGA WAY		
PLANNING BOARD CERTIFICATION		
I DO HEREBY CERTIFY THIS SUBDIVISION PLAT HAS MET THE REQUIREMENTS OF THE EAST PROVIDENCE LAND DEVELOPMENT & SUBDIVISION REVIEW RULES & IS NOW ELIGIBLE FOR RECORDING.		
PLANNING BOARD CHAIRPERSON	DATE	
ZONING CERTIFICATION		
I DO HEREBY CERTIFY THAT THE LOTS SHOWN ON THE SUBDIVISION PLAT MEET THE SCHEDULE OF AREA & OTHER DIMENSIONAL PROVISIONS OF CHAPTER 19, ZONING OF THE REVISED ORDINANCES OF EAST PROVIDENCE.		
ZONING OFFICER	DATE	RECORDING CERTIFICATION

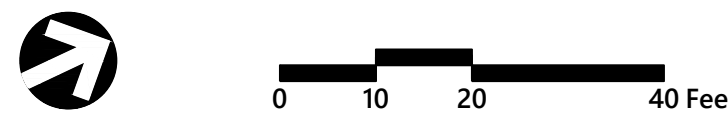


vhb.com

1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



05/15/2016



FIRST STREET NO. 1202
SUBSTATION
51 First Street
East Providence, Rhode Island

No.	Revision	Date	Appr'd.

Designed by
ER

Checked by
KC

Issued for
Permitting

Date
January 28, 2026

Drawing Title

Erosion Control Plan

Drawing Number

C4.01

Sheet

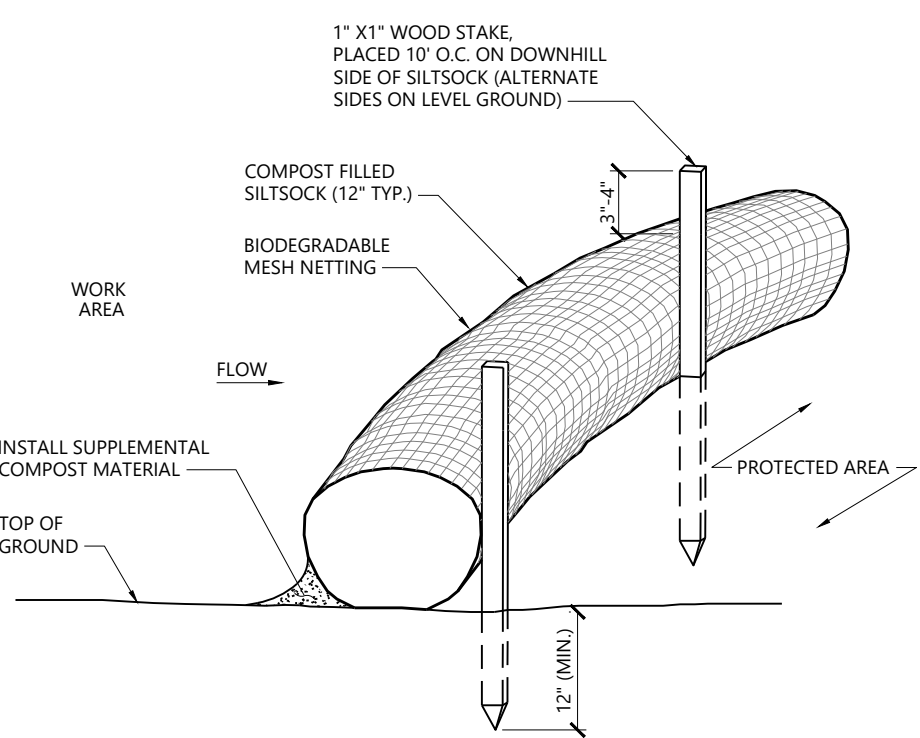
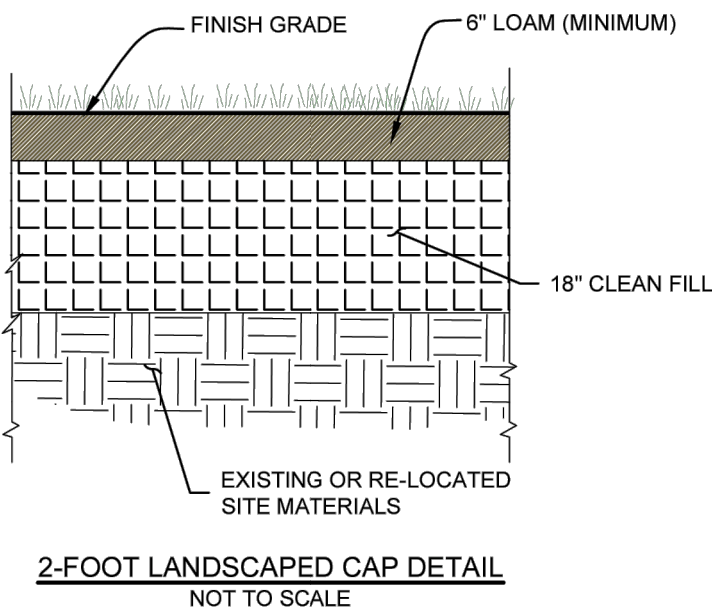
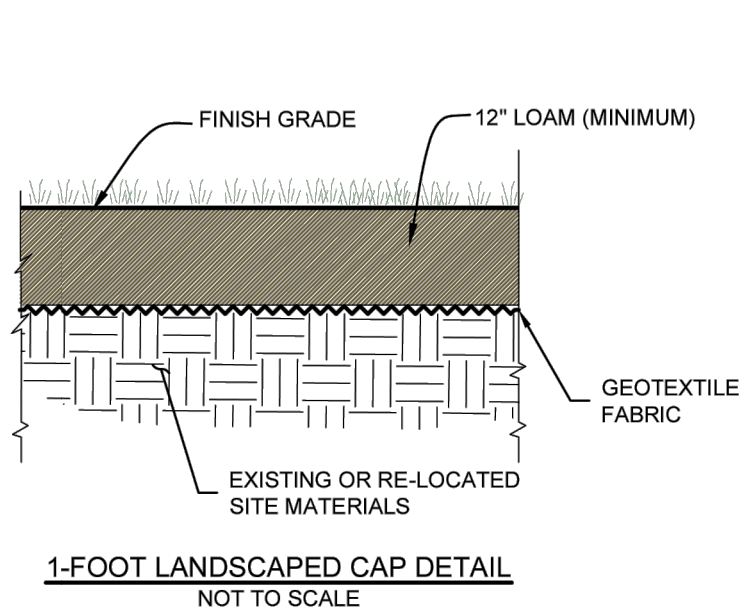
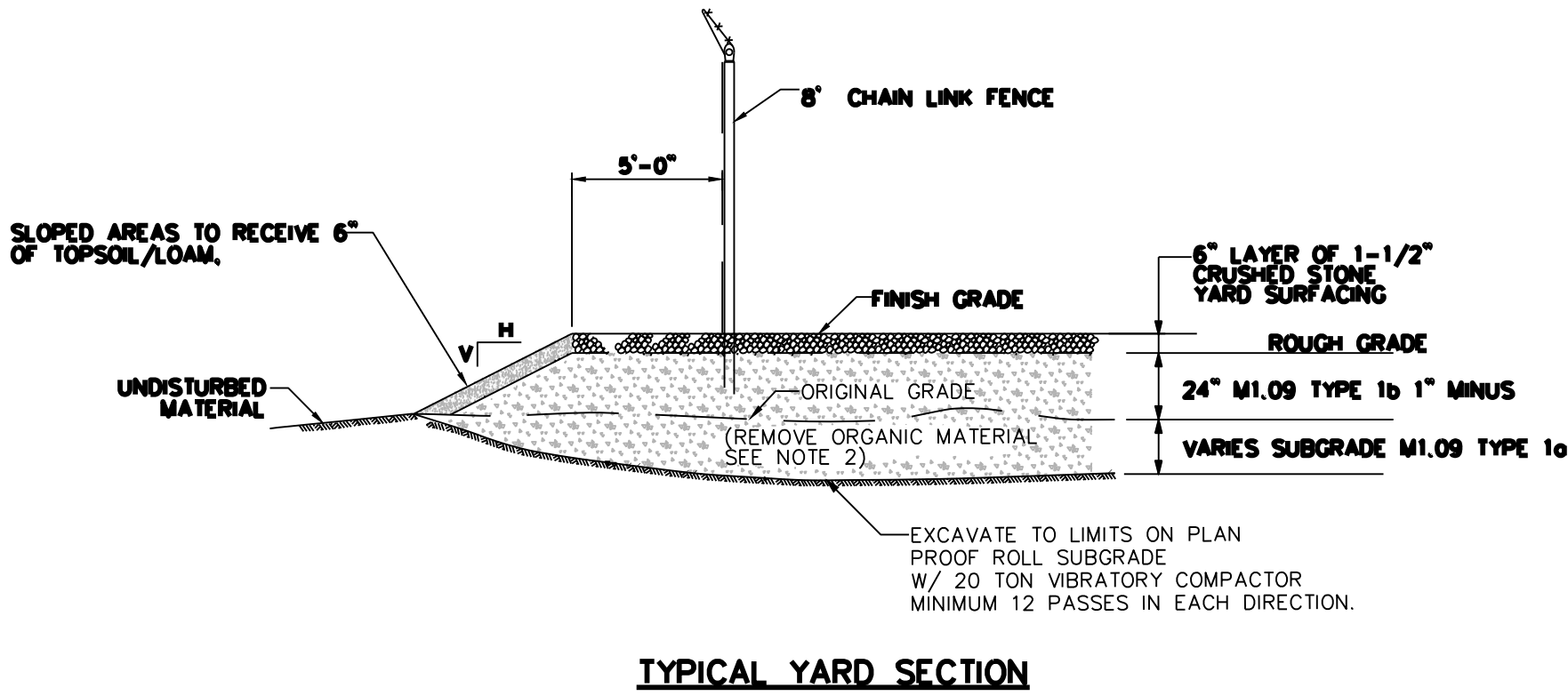
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of

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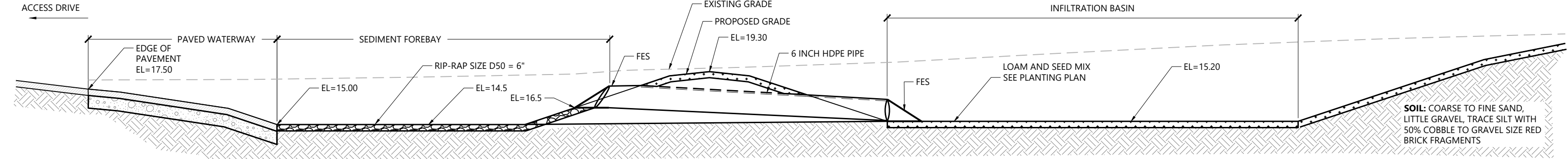
Project Number

73459.00



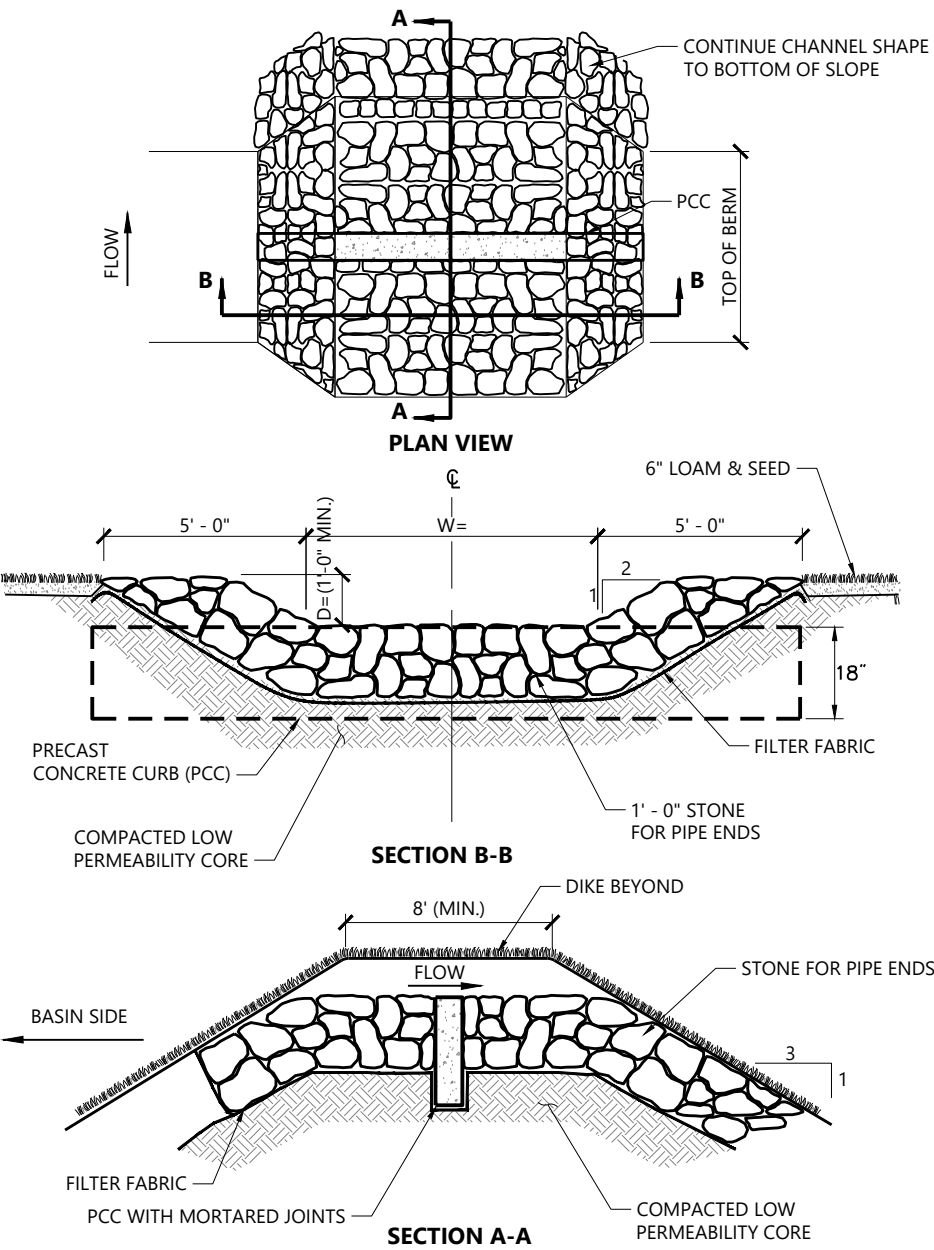
- NOTES**
1. SILT SOCK SHALL BE FILTREXX SILT SOCK OR APPROVED EQUAL.
 2. SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
 3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
 4. UPON SITE STABILIZATION, COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock - Erosion Control Barrier 10/20
N.T.S. Source: VHB LD_658

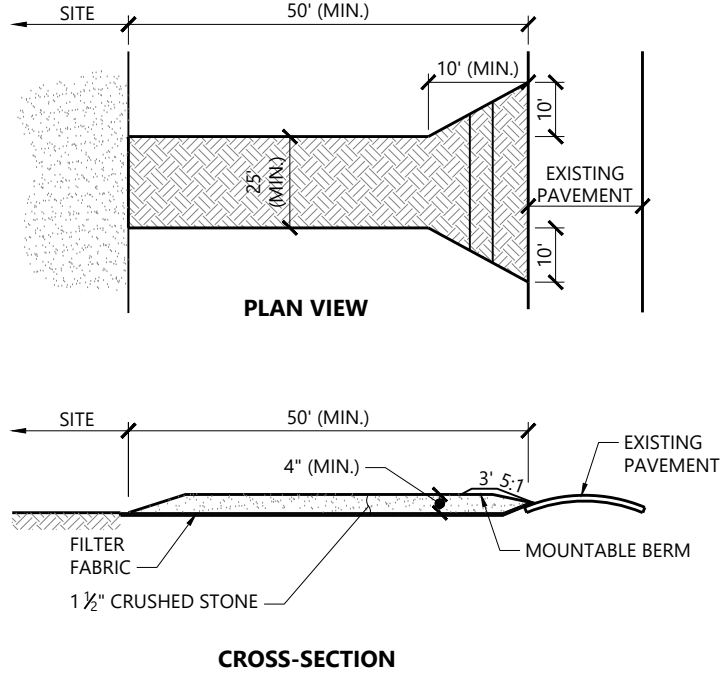


GROUNDWATER WAS NOT ENCOUNTERED IN THE TEST PITS EXCAVATED FOR THIS STUDY, WHICH EXTENDED TO ABOUT 3 TO 10.5 FEET BGS, AND CORRESPONDING TO ABOUT ELEVATION 12 TO 23 FEET. REFER TO GEOTECHNICAL REPORT BY GZA DATED JAN.3, 2025 FOR BORING AND TEST PIT DATA.

Section A-A - Paved Waterway, Sediment ForeBay & Infiltration Basin
N.T.S.

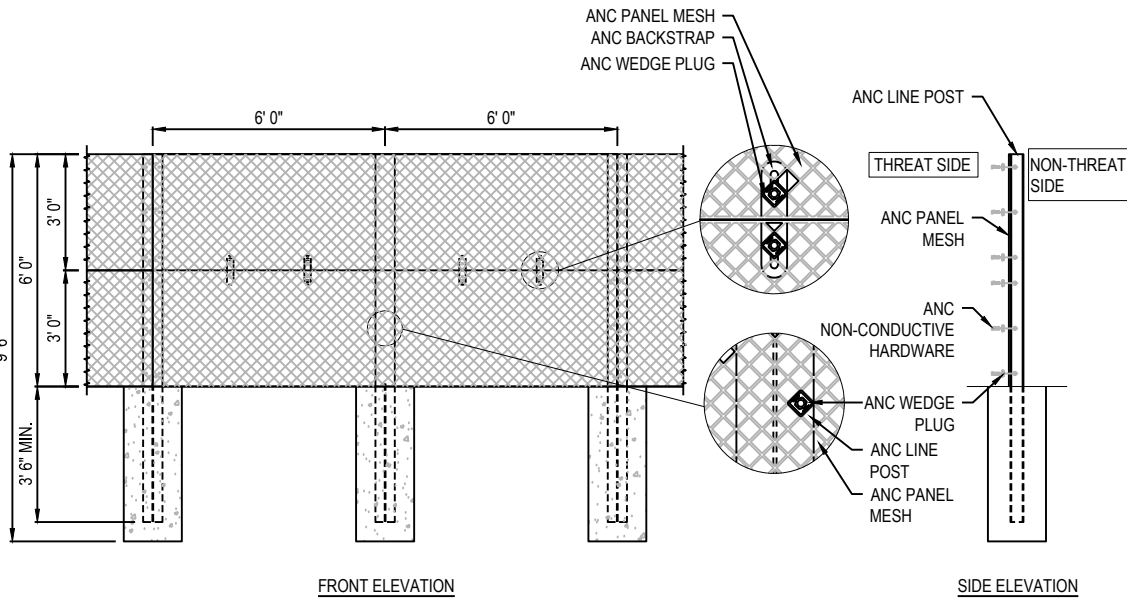


Riprap Emergency Overflow Weir 1/16
N.T.S. Source: VHB REV LD_161

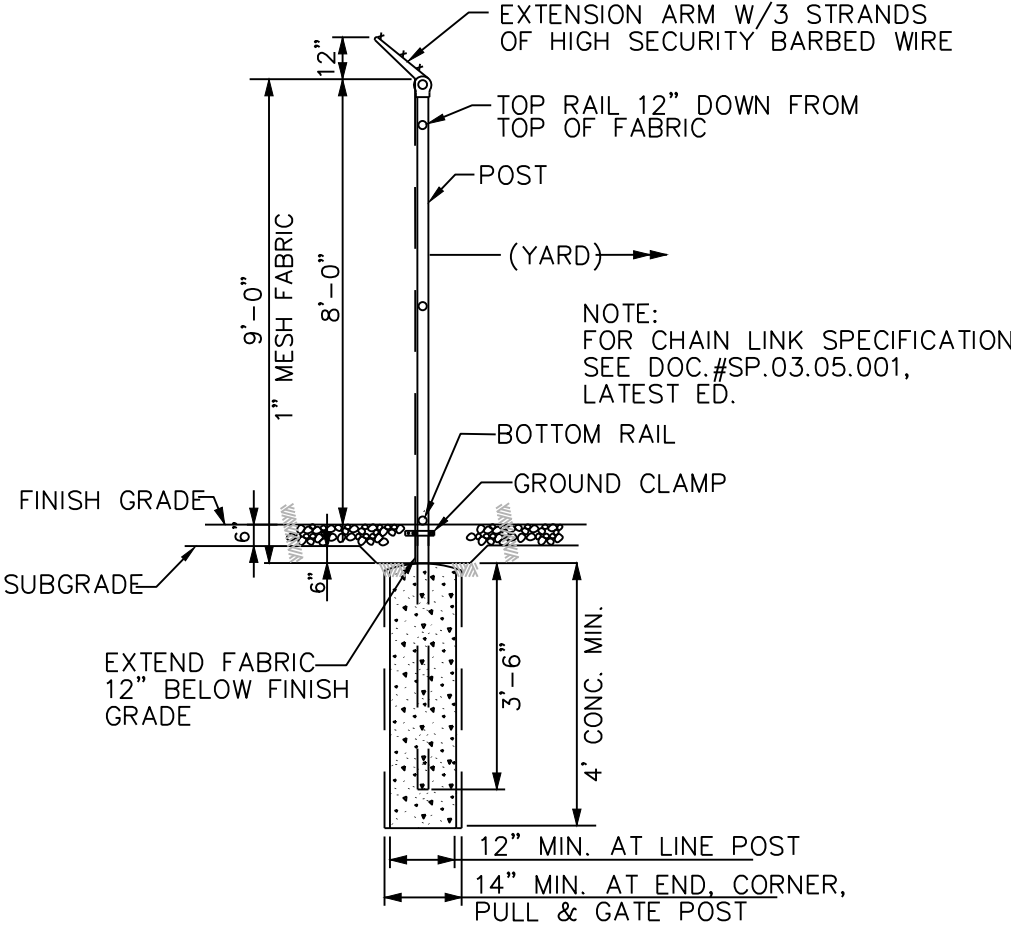


- NOTES**
1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PROVIDED AS NEEDED.
 3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

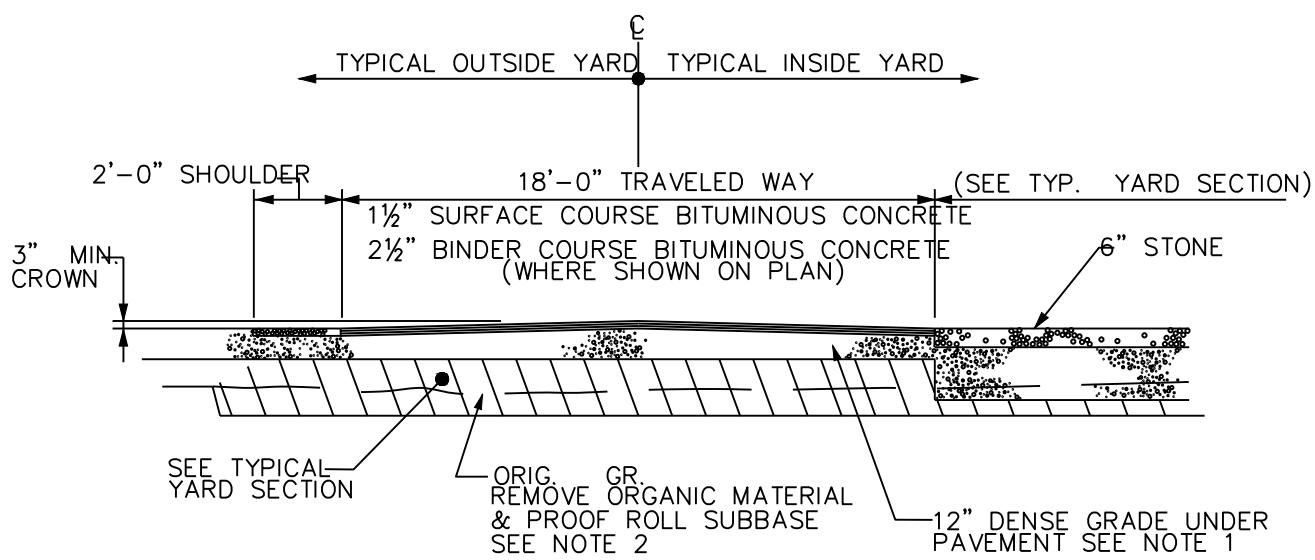
Stabilized Construction Exit 1/16
N.T.S. Source: VHB LD_682



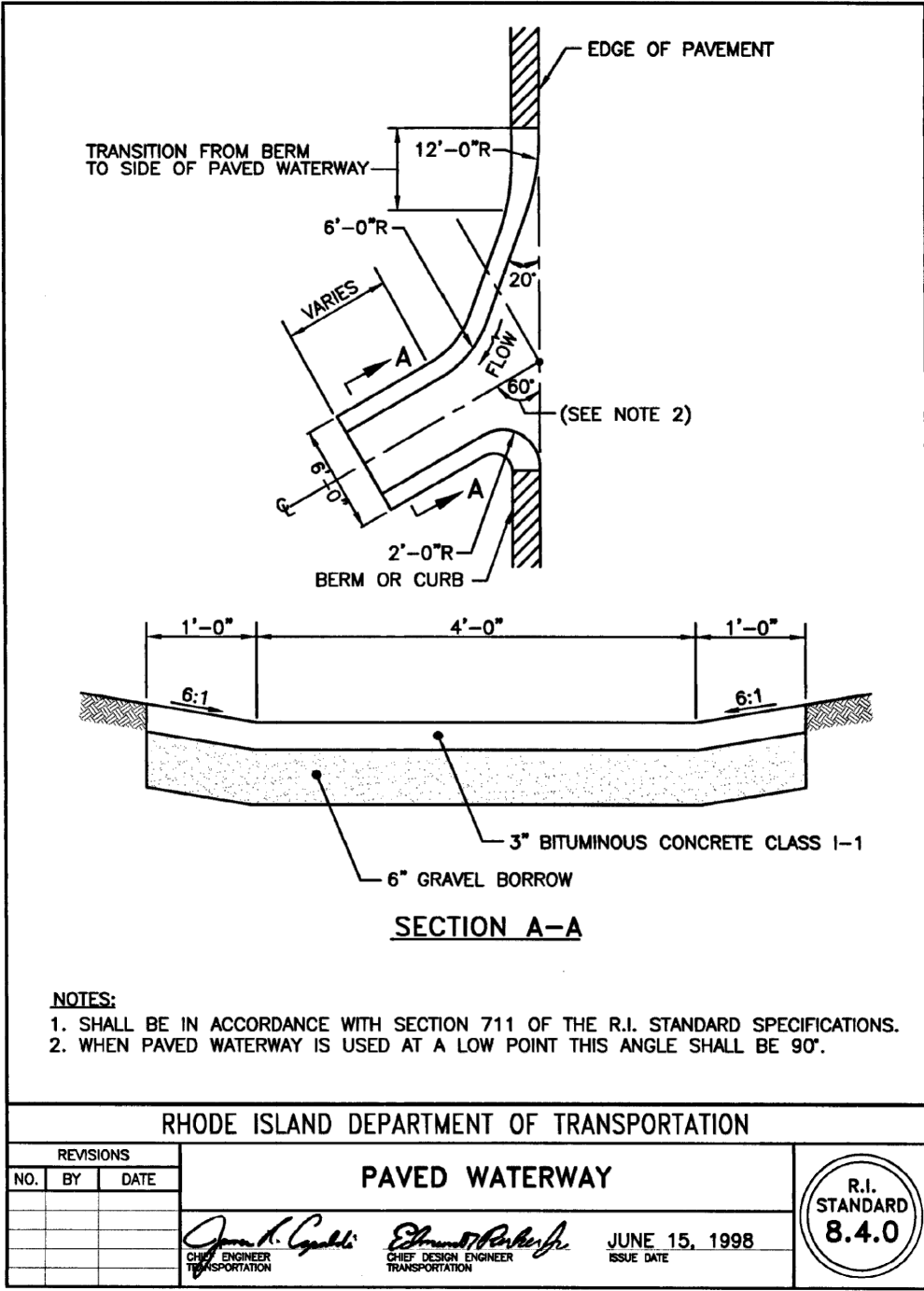
Non-Metallic Isolation Panel
N.T.S. Source: Amico Security



9 ft Security Fence (Refer to RIE Fence Specification)
N.T.S.



Typical Driveway Section
N.T.S. Source: RIE

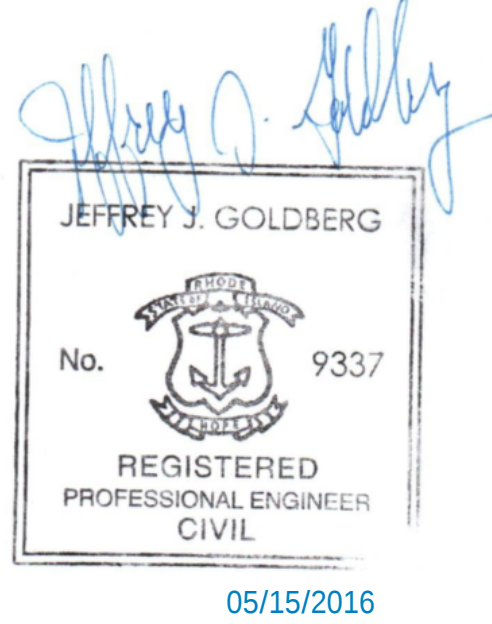


RHODE ISLAND DEPARTMENT OF TRANSPORTATION			
PAVED WATERWAY			
REVISIONS		JUNE 15, 1998	
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ZONING OFFICER	DATE
RECORDING CERTIFICATION	



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

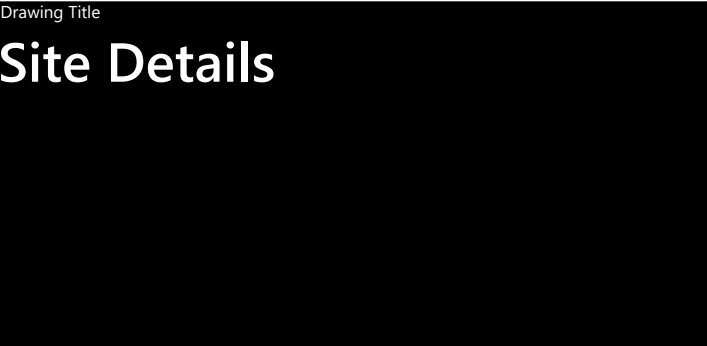


FIRST STREET NO. 1202 SUBSTATION

51 First Street
East Providence, Rhode Island

No.	Revision	Date	Appr.

Designed by NJG
Issued for Permitting
Checked by
Date January 28, 2026

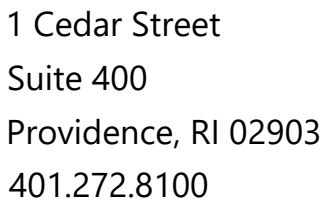


Drawing Number

C5.01

Sheet 6 of 7

Project Number
73459.00

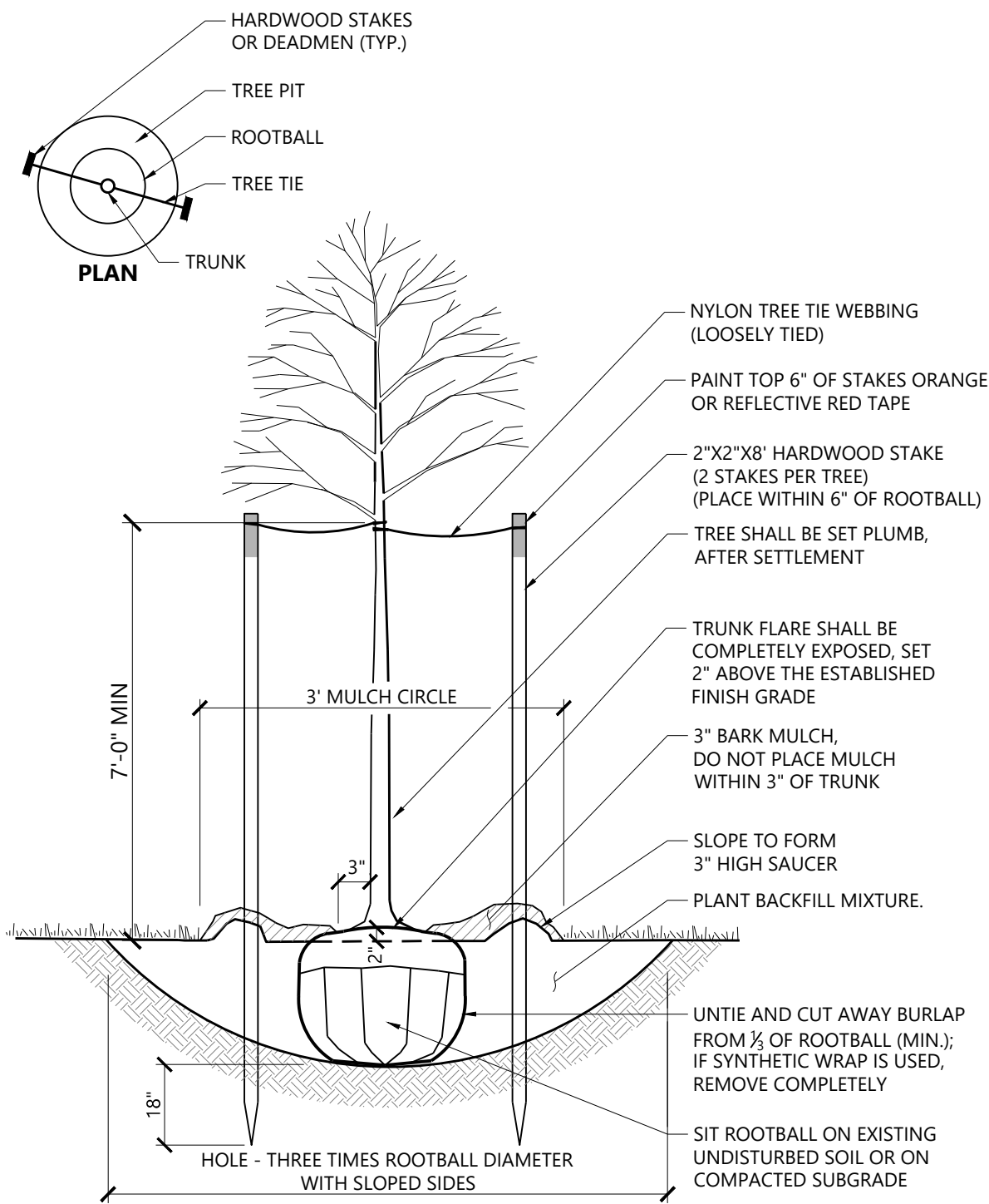


NOTE: ALL TREES TO HAVE 7' MIN BRANCHING HEIGHT

1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSEYMEN AND CONTRACT DOCUMENTS.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

13. PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER
14. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, AN APPROPRIATE TEMPORARY MULCH AND/OR NON-ASPHALTIC SOIL TACKIFIER WITH WINTER RYE SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
15. SLOPES GREATER THAN 3:1 SHALL BE MAINTAINED WITH A STRING TRIMMER AND PER PROPERTY MAINTENANCE PLAN.
16. AT COMPLETION OF CONSTRUCTION AND PRIOR TO INSTALLATION OF LOAM AND SEED, ALL STOCKPILE AREAS AND CONSTRUCTION LAYDOWN AREAS SHALL BE AMENDED TO REMOVE COMPACTION AND RESTORE PRE-CONSTRUCTION INFILTRATION RATE.
17. ROOT BARRIER TO BE DEEPEST OR APPROVED EQUAL 24" DEPTH INSTALLED ALONG ALL PEDESTRIAN WALKS AND PATHS AS SHOWN IN THE PLAN.
18. PROVIDE METAL EDGING BETWEEN THE NATIVE FLOWER POLLINATOR SEED MIX AND CRUSHED GRAVEL ALONG THE SECURITY FENCE.

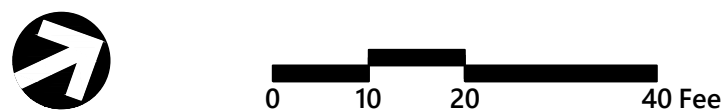
1. CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
3. WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
4. WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
5. CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



Tree Planting (For Trees Under 4" Caliper)		9/21
N.T.S.	Source: VHB	LD 602

FIRST STREET
(PUBLIC ~ 40' WIDE)

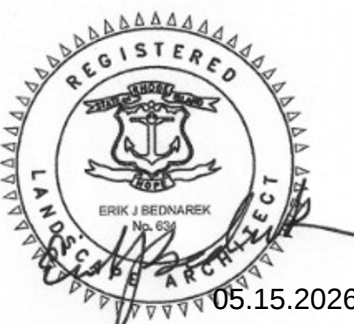
REFERENCE DRAWINGS
ULTIMATE LAYOUT RI00100749



51 First Street
East Providence, Rhode Island

[illegible]

Landscape Plan



C6.01

Sheet 7 of 7

Project Number
73459.00

Saved Monday, May 18, 2026 11:09:41 AM SCHOWDHURY Plotted Monday, May 18, 2026 11:35:49 AM Shorna Chowdhury

 NATIVE FLOWER POLLINATOR SEED MIX

NATIVE FLOWER POLLINATOR SEED MIX TO BE "NEW ENGLAND WILDFLOWER MIX" BY NEW ENGLAND WETLAND PLANTS OR APPROVED EQUAL.

SPECIES:
 LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), RED FESCUE (FESTUCA RUBRA), INDIAN GRASS (SORGHASTRUM NUTANS), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), CANADA WILD RYE (ELYMUS CANADENSIS), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), BLUE VERNAIN (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), NARROWLEAFED BLUE EYED GRASS (SISYRINCHIUM ANGUSTIFOLIUM), BLACK EYED SUSAN (RUDECKIA HIATRI), NEW ENGLAND ASTER (SYMPHYOTRICHUM NOVAE-ANGLIAE), SPIKED GAYFATHER (MARSH BLAZING STAR (LIATRIS SPICATA), STARVED/CALICO ASTER (ASTER LATIFOLIUS/SYMPHYOTRICHUM LATIFOLIUM), EARLY GOLDENROD (SOLIDAGO JUNCEA), HOLLOW-STEM JOE PYE WED (EUPATORIUM FISTULOSUM/ETROCHITUM FISTULOSUM)

AREAS INDICATED AS "NATIVE FLOWER POLLINATOR SEED MIX"

MAINTENANCE: FIRST GROWING SEASON

WHENEVER CANOPY HEIGHT (OVERALL VEGETATION) REACHES 18"-24", USE A BRUSH HOG MOWER OR STRING TRIMMER TO TRIM THE MEADOW TO A HEIGHT OF 8". A LAWN MOWER IS NOT RECOMMENDED AS THE MOWER HEIGHT WILL BE TOO LOW AND NATIVE SEEDLINGS WILL BE KILLED.

TRIMMING SHOULD CEASE BY MID-SEPTEMBER.

PROBLEM WEEDS SHOULD BE HAND PULLED OR SPOT SPRAYED WITH AN APPROVED HERBICIDE.

MAINTENANCE: SECOND GROWING SEASON

PRIOR TO NEW SPRING GROWTH REACHING A HEIGHT OF 2" (E.G., SHORTLY AFTER FORSYTHIA OR REDBUD BLOOMS), TRIM ANY MATERIAL STANDING FROM THE PREVIOUS YEAR CLOSE TO THE GROUND (APPROXIMATELY 2"). IN CERTAIN ECOSYSTEMS, CONTROLLED BURNING BY CERTIFIED PROFESSIONALS CAN ACHIEVE THE SAME RESULTS.

PROBLEM WEEDS SHOULD BE HAND PULLED OR SPOT SPRAYED